

Planning Approval Consistency Assessment Form

SM-17-00000111

Sydney Metro – Metro Body of Knowledge (MBoK)

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1. Existing Approved Project

Planning approval reference details (Application/Document No. (including modifications)):

CSSI 10038 Sydney Metro West Concept and Stage 1 (11 March 2021)
 Concept and Stage 1 Administrative Modification 1 (28 July 2021)
 Concept and Stage 1 Modification 2 Clyde stabling and maintenance facility (3 June 2022)
 Concept and Stage 1 Administrative Modification 3 (4 July 2022)
 Concept and Stage 1 Administrative Modification 4 (22 December 2022)
 Concept and Stage 1 Administrative Modification 5 Clyde stabling and maintenance facility – Additional Mangrove Impact (September 2023)
 Concept and Stage 1 Administrative Modification 6 (6 November 2024)

Date of determination:	Stage 1 Determination: 11 March 2021 Stage 1 Modification 1: 28 July 2021 Stage 1 Modification 2: 3 June 2022 Stage 1 Modification 3: 4 July 2022 Stage 1 Modification 4: 22 December 2022 Stage 1 Modification 5: 20 September 2023 Stage 1 Modification 6: 6 November 2024	Type of planning approval:	Critical State Significant Infrastructure (CSSI) (EP&A Act Division 5.2)
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Relevant background information (including EA, REF, Submissions Report, Director General's Report, MCoA):

Sydney Metro West Concept and Stage 1, Environment Impact Statement, April 2020
 Sydney Metro West Concept and Stage 1, Amendment Report, November 2020
 Sydney Metro West Concept and Stage 1, Submissions Report, November 2020
 Sydney Metro West Concept and Stage 1, Assessment Report (SSI 10038), March 2021
 Sydney Metro West Concept and Stage 1, Conditions of Approval (CoA), released on 11 March 2021 and updated on 28 July 2021 (Modification 1), 3 June 2022 (Modification 2), 4 July 2022 (Modification 3), 22 December 2022 (Modification 4), 20 September 2023 (Modification 5) and 6 November 2024 (Modification 6).
 Environmental Review, SMW09, Parramatta – Temporary Roof Repairs required for 45 George Street, Parramatta, April 2023
 Consistency Assessment, SMW16, George Street Shops remediation, October 2024

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Description of existing approved project you are assessing for consistency:

The approved project includes the Concept and major civil construction work between Westmead and The Bays (Stage 1 of the planning approval process). This Consistency Assessment relates to Stage 1 works, as described below.

Sydney Metro West - all major civil construction works between Westmead and The Bays (referred to throughout as the Approved Project)

Approved major civil construction work for Sydney Metro West between Westmead and The Bays (Stage 1 of the planning approval process) includes (refer to Section 9 of the Environmental Impact Statement (EIS)):

- Enabling works, such as demolition, utility supply to construction sites, utility adjustments and modifications to the existing transport network
- Tunnel excavation including tunnel support activities between Westmead and The Bays
- Station excavation for new metro stations at Westmead, Parramatta, Sydney Olympic Park, North Strathfield, Burwood North, Five Dock and The Bays
- Shaft excavation for services facilities
- Civil work for the stabling and maintenance facility at Clyde.

George Street shops

Impacts on heritage items within the Parramatta metro station construction site were detailed in Chapter 12 of the EIS (Table 12-7). Heritage item Shops (and potential archaeological site) (41-59 George Street, Parramatta) was determined to have local significance on Parramatta LEP 2011 (I703) with potential for the following heritage impacts:

- Direct impact (minor) – minor impact to the remaining historic building could occur due to accidental damage during construction, which could potentially result in localised physical impact, although appropriate measures would be put in place to reduce the likelihood of impact
- Potential direct impact: vibration (minor) - Vibration modelling indicates that this item could experience vibration levels above the cosmetic damage screening criteria
- Indirect impact: views and vistas (minor and temporary) - The works would result in changes to the visual amenity and character of the site, as well as views and vistas around the site. The context of the item has been previously altered by modern development restricting views towards this item. Following the demolition of the modern developments, the construction site would potentially temporarily detract from views towards the heritage item from the northern side of George Street and intersection at Church Street.

2. Description of proposed change which is the subject of this assessment

The George Street Shops (and potential archaeological site) at 41-59 George Street, Parramatta was detailed in Chapter 12 of the EIS as a local heritage item listed with Parramatta City Council, in Parramatta Local Environmental Plan 2011 (I703). The EIS identified that the item would be acquired as part of the Parramatta metro station construction site (but not to be demolished), resulting in a direct impact. Furthermore, Section 12.4 of the EIS stated that where a heritage item is located within a construction site, the item would be retained and protected. Since determination of the Approved Project, Sydney Metro has undertaken further detailed investigation of the item, to understand the full condition of the building and identify protective measures required to prevent an adverse impact. This investigation work has identified that significant weathertightness elements, including roofing, guttering, downpipes and stormwater drainage have deteriorated with age and resulted in subsequent deterioration and as a result, require remediation in order to ensure the long-term integrity of the building.

An Environmental Review (SMW09) was prepared in April 2023 for the installation of metal ridge cappings on the roof of the shops as a temporary measure to prevent ingress of water to the building, where flashing was previously stolen in a vandalism event. The Heritage Impact Assessment appended to the Environmental Review identified that while the installation of the metal ridge cappings would provide sufficient weather proofing, that this solution would only be installed temporarily until a permanent restoration solution was developed.

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A Condition Assessment (Appendix A) was prepared in June 2024 to inform decisions about the management of the building and documentation of appropriate rectification works. This assessment stated that whilst the condition of some elements of the building are compromised, there is a sufficient amount of original fabric remaining to inform building conservation work, including repair of damaged elements and reconstruction of missing elements.

A Heritage Review of Recommendations was prepared in June 2024, which identified that elements of the roof and stormwater drainage system are missing, corroded or otherwise not functioning as intended, which is contributing to damp conditions around and within the building. As a result of the poor condition of the elements of external fabric, the interiors were subject to considerable water ingress which has led to deterioration of building elements.

Following the completion of the Condition Assessment and Heritage Review of Recommendations, it was identified that a two part (Part 1A and Part 1B) approach to remediation would be necessary. In the first instance to undertake further investigation and assessment to identify and define a full and detailed scope of remediation work and in the second instance to undertake that work. A Consistency Assessment (SMW16) was prepared in October 2024 to address the first part of the works (Part 1A) which included direct impacts to George Street Shops in order to physically remove fabric of little or no significance (softstrip work including mould remediation) and to undertake localised destructive investigation as required to assess the necessary scope of physical work required.

Following the completion of these initial remediation and investigation works undertaken under SMW16, the Condition Assessment was updated in August 2025 and a further Structural Assessment of the George Street Shops was prepared in October 2025 to inform the Part 1B works which is proposed in this assessment.

This Consistency Assessment assesses the second part (Part 1B) of remediation of the George Street Shops (Figure 1). A Statement of Heritage Impact (SOHI) was prepared in May 2026 (Appendix A) to identify and assess any potential heritage impacts associated with proposed repair works to the external building fabric. The proposed works include comprehensive repair works to external building fabric to improve the condition of the buildings and to ensure that they are protected against water ingress and vandalism. In summary, the works consist of essential external repairs, including the renewal of deteriorated slate roofing and leadwork, replacement of damaged rainwater goods and downpipes, repairs to chimneys, brickwork and sandstone elements, reinstatement of traditional detailing, and improvements to subfloor ventilation and site drainage, as well as seismic stabilisation works. A full scope of works is included in Section 5.2 of the SOHI (Appendix A).

It is noted that not all recommendations in the Condition Assessment (October 2025) are included in the works proposed in this Consistency Assessment which mostly consists of the recommendations related to repair works to the external building fabric. Any additional physical works not identified in this Consistency Assessment would form a third part of works (Part 1C) and be assessed and undertaken under a separate Consistency Assessment.



Figure 1: Aerial image showing the subject site “George Street Shops” at 43-47 George Street, Parramatta, following the extensive 2022-2023 demolition of neighbouring buildings. Source: Google Maps, accessed 15 April 2026 (Figure 1.4 of Appendix A).

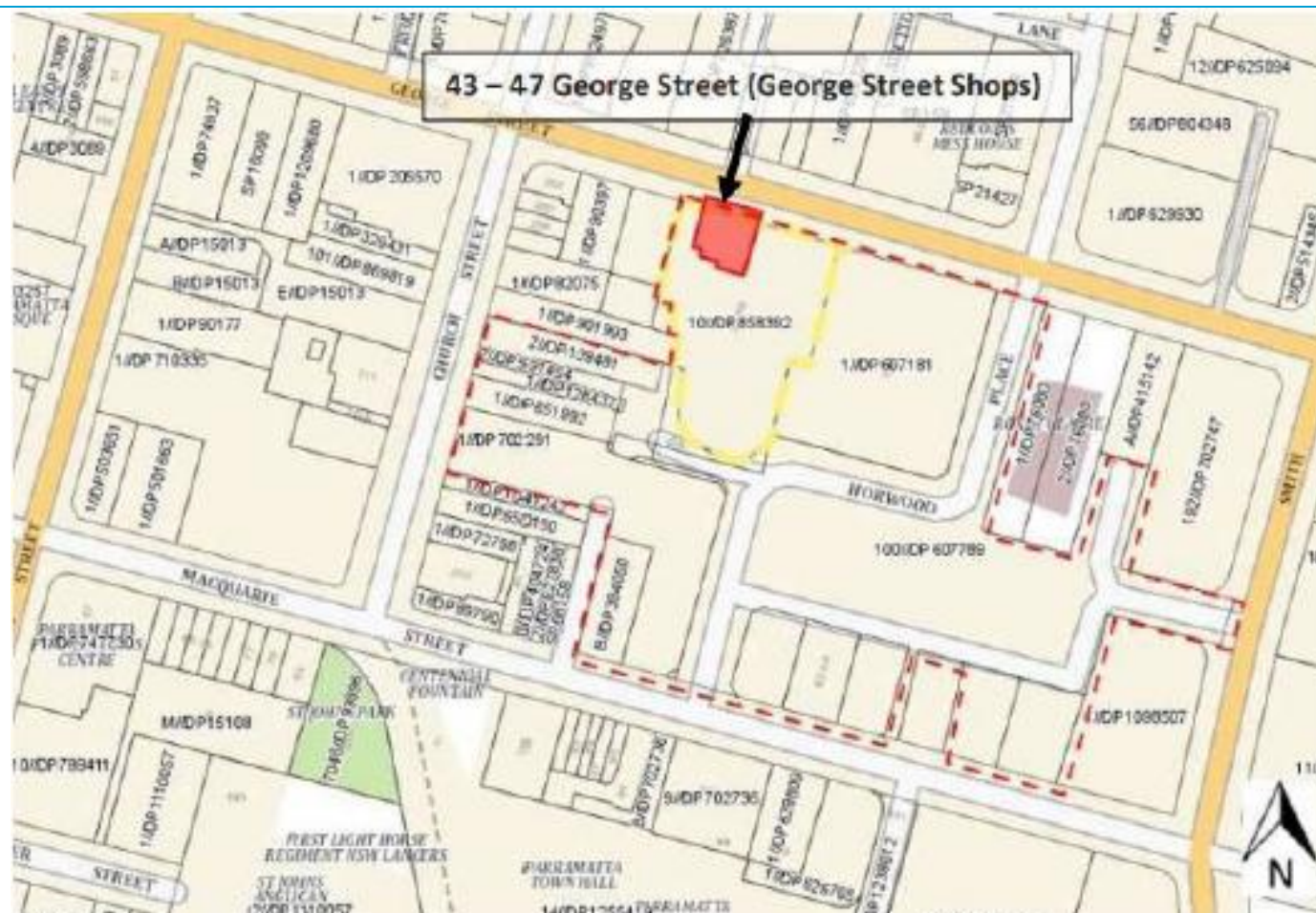


Figure 2: Location of works. Cadastral plan showing the subject site at 43-47 George Street shaded in red with a continuous red outline. The extent of Parramatta Metro Precinct is indicated by a dashed red line; the lot boundary for 41-59 George Street is indicated by a dashed yellow line.

Source: NSW ePlanning Spatial Viewer (Figure 2 of SMW16).

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Table 1 - Comparison of the proposal with relevant elements of the Approved Project

Relevant elements of the Approved Project	Proposed change
Table 12-7 of the EIS states that there is potential for minor impact to the remaining historic building due to accidental damage during construction, which could potentially result in localised physical impact.	The proposed works would comprise essential repairs to deteriorated external fabric, including renewal of slate roofing and leadwork, replacement of damaged rainwater goods and downpipes, repairs to chimneys, brickwork and sandstone elements, reinstatement of traditional detailing, improvements to subfloor ventilation and site drainage, and seismic stabilisation works. Whilst the proposed direct impacts aren't accidental, they are necessary to address ongoing deterioration, prevent water ingress and structural failure, and to ensure the long-term conservation of the historic building.

3. Timeframe

Works are proposed to commence in May 2026 and expected to take about 12 weeks to complete.

4. Site description

Parramatta metro station construction site as described in Chapter 9 of the EIS, covers about 24,150m² within the block bounded by George, Church, Macquarie and Smith streets. The site previously contained commercial buildings and a multi-storey car park.

George Street Shops are part of a larger site at 41-59 George Street, the whole site of which is subject to statutory heritage listing at a local level. This site is on Lot 10, Deposited Plan 858392, located within the City of Parramatta Council. The cadastral register comprises the following land parcels:

- 41 George Street, Parramatta.
- 43-47 George Street, Parramatta (George Street Shops), a locally listed heritage item.
- 49-59 George Street, Parramatta.

The study area for this Consistency Assessment is the shops building at 43-47 George Street, Parramatta (George Street Shops). It does not include the additional parcels of land comprising the full extent of the lot boundary for 41- 59 George Street or the amalgamated site area of the Parramatta Metro Precinct.

The site location is provided in Figure 1 and Figure 2.

5. Site Environmental Characteristics

The area surrounding the construction site is mainly commercial, typically general office or retail use.

The heritage item George Street Shops is located within the Parramatta metro station construction site. It is registered as a local heritage item on Parramatta LEP 2011 (I703) and the site is identified as a potential archaeological site and may contain relics of State Significance relating to the c1790 convict huts recorded in a 1792 map.

As the item has been acquired as part of the Parramatta metro station construction site, the item is also listed in the Sydney Metro Heritage and Conservation Register, in accordance with Section 170 of the Heritage Act (1977). The Victorian Regency two-storey shop building at 43-47 George Street is of significance within NSW for historic, aesthetic and scientific reasons and a rare example of an early commercial / residential building built before 1844.

6. Justification for the proposed change

The overarching objective of the proposed works is to stabilise and conserve the external building fabric of George Street Shops, to ensure the long-term preservation, weather-tightness and structural integrity of the historic building, while minimising heritage impacts and retaining significant fabric as much as possible. The proposed works are consistent with the requirements of the *Heritage Act 1977* and align with best-practice heritage guidelines, including The Burra Charter (2013), which emphasises minimal intervention, retention of significant fabric and the importance of ongoing care and maintenance.

7. Environmental Benefit

The proposed works would address ongoing deterioration of the George Street Shops and prevent water ingress and structural failure of the historic building. The proposed works are considered positive in enhancing the long-term preservation of the heritage item. The building is currently unoccupied, but the proposed works would ensure that the building is structurally sound, weather-tight and protected from further deterioration therefore ensuring the buildings continued viability and readiness for future adaptive reuse.

8. Control Measures

Will a project and site specific EMP be prepared?	☒ Yes	Are appropriate control measures already identified in an existing EMP?	☒ Yes
	☐ No		☐ No

9. Conditions of approval / Environmental mitigation measures

Number	Condition of Approval/ Environmental mitigation measure	Discussion on relevance and consistency for proposed change
D13	'The Proponent must not destroy, modify or otherwise affect any Heritage item not identified in documents referred to in Condition A1 of this schedule. Unexpected heritage finds identified by Stage 1 of the CSSI must be managed in accordance with the Unexpected Finds Protocol outlined in Conditions D31 to D33 of this schedule. Consideration of avoidance and redesign to protect state significant unexpected finds must be addressed where this condition applies. <i>Note: Affect in this condition means any impact above "little to no impact" as defined in the Material Threshold Policy (Heritage NSW, 2020)'</i>	The George Street Shops have been identified in the A1 documents as a heritage item that is impacted by the Project. The SOHI in Appendix A of this Consistency Assessment concludes that the proposed works will have no adverse impact on the heritage significance of the George Street Shops. Instead, they will enhance the buildings' long-term viability, improve their resilience to environmental impacts, and support their continued conservation as important early commercial buildings within the historic George Street corridor. Recommendations and mitigation measures are provided in Section 7.2 of the SOHI to ensure that the proposed works are undertaken in a manner that protects and conserves the heritage significance of the place, and to minimise any potential adverse impacts that may arise during the course of the works.
D16	'During construction, the Proponent must implement protective measures to prevent adverse impacts on the heritage significance of the Victorian Regency terraced shops at 41-45 George Street, Parramatta and Kia Ora Georgian House at 64 Macquarie Street, Parramatta. Before installing such measures, the advice of a suitably qualified and experienced built heritage expert must be obtained and implemented to ensure any such work does not have an adverse impact on the heritage significance of the item. Protection measures must also consider and avoid potential impacts to significant historical archaeology and seek the advice from the Excavation Director approved under Condition D27 below.'	The proposed external repair works to the George Street Shops address long-standing issues of deterioration, water ingress and structural vulnerability, thereby supporting the ongoing preservation and stability of the heritage fabric. Ensuring that the buildings are weather-tight, structurally sound and protected from further deterioration is fundamental to their long-term conservation and is consistent with the principles of The Burra Charter (2013), which emphasises maintenance, repair and the retention of significant fabric. The SOHI (Appendix A), prepared by OCP Architects, concludes that the proposed works represent a positive heritage outcome for the George Street Heritage Shops. Recommendations and mitigation measures are provided in Section 7.2 of the SOHI to ensure that the proposed works are undertaken in a manner that protects and conserves the heritage significance of the place, and to minimise any potential adverse impacts that may arise during the course of the works. The proposed works are primarily limited to the external building fabric, with minor ground disturbance associated with drainage, subfloor ventilation, and paving improvements. The advice of the Excavation Director approved under Condition D27 will be sought and implemented prior to and during any works involving excavation.

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Will the proposed change be consistent with the conditions of approval?

☒ Yes

☐ No

10. Impact Assessment – Construction

Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
Biodiversity	No change from approved project.	No additional measures required	Y	N		
Water	No change from approved project.	No additional measures required	Y	N		
Soils and contamination	Section 20.7.2 of the EIS states that the soils, groundwater and vapour in the vicinity of the construction site have a moderate potential contamination risk due to current and historical activities. The proposed works would involve minor ground disturbance associated with drainage, subfloor ventilation, and paving improvements. This is anticipated to be minor, localised excavation and ground disturbance in comparison to the Approved Project. Any potential impacts would be managed in accordance with existing conditions and mitigation measures within the CEMP and CEMP sub-plans for the Approved Project.	No additional measures required	Y	N		
Air quality	The proposed works have the potential for localised air quality impacts associated with the construction works and delivery of material. These impacts are to be managed as per the Principal contractor's Air Quality Management Procedure. The air quality impacts are anticipated to be consistent with the impacts assessed for the Approved Project.	No additional measures required	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	The proposed works would not result in any change to the construction methodology or construction machinery to be used.					
Noise and vibration	Construction noise and vibration was assessed in Chapter 11 and Technical Paper 2 of the EIS for the Approved Project. The area surrounding the construction site is mainly commercial, typically general office or retail use. Residential receivers are generally on the outskirts of the catchment. There are many 'other sensitive' receivers in this catchment, including education and a number of nearby hotels and places of worship. The proposed works would consist of essential external repairs. Being external repair works, this has the potential for localised noise impacts, however any impacts are considered to be consistent to the noise associated with the Approved Project. Table 41 of Technical Paper 2 identified the noise management level (NML) exceedances from surface construction sites for all receiver types. This predicted that for surface construction the peak noise intensive works has potential for the predicted worst case to be 11-20 dB above NML. Given the nature of the proposed works, it is not anticipated that noise levels would exceed the predicted worst case in the EIS. There is also potential for minor increase in heavy vehicles for delivery associated with the proposed works. Noise and vibration impacts would continue to be managed in accordance with the measures and	No additional measures required	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	processes outlined in the Construction Noise and Vibration Standard.					
Aboriginal Culture and Heritage	Section 13.7.1 of the EIS identified one recorded area of archaeological potential within the Parramatta metro station construction site (AHIMS ID 45-6-3582) around 48 Macquarie Street and 220-230 George Street. The assessment found that the item and surrounding area was of high significance to Aboriginal people, and that the archaeological potential for the area is moderate to high. The proposed works are not within or directly adjacent to the recorded area of archaeological potential and would involve minor localised ground disturbing works to allow for drainage improvements. Any potential impacts would be managed in accordance with REMMs AH3 and AH4.	No additional measures required	Y	N		
Historic Heritage	Potential impacts to items of Historic Heritage were assessed in Chapter 12 and Technical Paper 4 of the EIS. George Street Shops was determined to have the following impacts: Direct impact (minor) – minor impact to the remaining historic building could occur due to accidental damage during construction, which could potentially result in localised physical impact, although appropriate measures would be put in place to reduce the likelihood of impact	Additional measures required are as per the recommendations provided in Section 7.2 of the SOHI (Appendix A).	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	- Potential direct impact: vibration (minor) - Vibration modelling indicates that this item could experience vibration levels above the cosmetic damage screening criteria - Indirect impact: views and vistas (minor and temporary) - The works would result in changes to the visual amenity and character of the site, as well as views and vistas around the site. A SOHI (Appendix A) has been prepared for the proposed works to assess the impact of the proposed repair works to the external building fabric on the heritage significance of 43-47 George Street, Parramatta, and on any surrounding heritage items and conservation areas. The proposed works comprise essential repairs to deteriorated external fabric that are necessary to address ongoing deterioration, prevent water ingress and structural failure, and to ensure the long-term conservation of the George Street Shops. In addition, the proposed works significantly improve the buildings' condition and readiness for future adaptive reuse, thereby ensuring the buildings continued viability and potential future occupation. Whilst further direct impacts are required to George Street than was anticipated in the EIS, as a result of the poor condition to the external and internal fabric, the proposed works are required					

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	to retain and conserve the heritage item in accordance with Conditions D13 and D16. The SOHI concluded that the proposed works are minor, largely reversible, and sympathetic to the significant fabric of the buildings. Elements, such as the principle facades, original brickwork, sandstone detailing and traditional roof form are retained with repairs to be completed on a like-for-like basis. The proposed works involve only minor, localised removal of deteriorated or damaged fabric. These elements are of low or compromised significance due to their condition or later introduction. Thus the proposed works would retain the original form, detailing and presentation of the George Street Shops to George Street, while addressing critical conservation requirements. The proposed works are considered positive in enhancing the long-term preservation of the George Street Shops. Any potential impacts to the heritage item would be managed through the Parramatta station Principal contractor's Heritage Management Plan.					
Community and socio-economic	No change from the Approved Project. Relevant mitigation measures and Conditions of Approval for the project would continue to apply to minimise any community and socio-economic impacts.	No additional measures required	Y	N		
Traffic and transport	The anticipated vehicle numbers (heavy and light vehicles) at the Parramatta Station construction	No additional measures required	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	site over a typical day are provided in Figures 10-8 and Figure 10-9 of the EIS. The EIS anticipated up to 24 light vehicle movements per hour (6-7AM and 6-7PM) and up to 22 heavy vehicle movements per hour (7AM-6PM) for site establishment. Vehicle movements would be required for the delivery and removal of construction material. The major works at the Parramatta Construction site are complete and so vehicle movements would be less than those identified in the EIS. Any impacts would be short-term only and will be managed per the Principal contractor's Construction Traffic Management Plan.					
Waste and resource management	The waste material from the construction activities associated with the proposed works will be managed in accordance with relevant mitigation measures and Conditions of Approval for the project and the Paramatta station Principal contractor's Construction Environment Management Plan to ensure waste is disposed of appropriately.	No additional measures required	Y	N		
Visual	Visual impacts associated with construction of the Approved Project were assessed in Technical Paper 5 of the EIS. Daytime visual impacts (during construction) at Parramatta construction site were considered in Section 6.4.2. The assessment identified that George Street includes several heritage listed buildings with west terminated by gatehouses in the historic Parramatta Park and is therefore of local sensitivity. These important views, however,	No additional measures required	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	are not present in the vicinity of the construction site. Overall, it was concluded that there would be a minor adverse landscape impact associated with construction of the Approved Project, with these impacts being primarily associated with reduction in the quality of George Streets streetscapes due to changes in amenity and permeability. There is potential for visual impacts associated with the proposed external work to the roof and associated rainwater goods and stormwater system, associated with hoarding and scaffolding. This may have minor and temporary impacts to the heritage item and receivers. Similar to the Approved Project, there would be minor visual impacts associated with construction works, plant and equipment and any temporary fencing and safety measures implemented. The project would adopt all appropriate mitigation measures to minimise visual intrusiveness to these receivers where possible. Any visual impact associated with the proposed works and associated hoarding/scaffolding would be short-term and a negligible visual impact beyond what was assessed in the Approved Project.					
Land use and property	No change from approved project.	No additional measures required	Y	N		
Hazard and risk	The works would provide essential works both in terms of maintaining the building and/or preventing further damage in accordance with the objectives of Section 118 of the NSW <i>Heritage Act 1977</i> and in terms of human health and	No additional measures required	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	safety. The proposed works would address long-standing issues of deterioration and water ingress of the historic building. The proposed seismic stabilisation works would address structural vulnerabilities of the historic building. If hazardous waste or special waste (e.g. asbestos) is encountered during the proposed works, it would be handled and managed in accordance with relevant legislation, codes of practice and Australian standards. The George Street Shops have previously been subject to theft of copper elements during works related to the Approved Project. The proposed works include some copperwork. Consideration will be given to prevent further theft of copper elements including painting of copper to disguise its presence.					
Other – Cumulative impacts	Part 1A works at the site included direct impacts to George Street Shops in order to physically remove fabric of little or no significance (softstrip work including mould remediation) and to undertake localised destructive investigation as required to assess the necessary scope of physical work required. The proposed works are a progression of these works towards the George Street Shops conservation. The cumulative impact of the previous remediation works (Part 1A) and the proposed	No additional measures required	Y	N		

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Aspect	Nature and extent of impacts (negative and positive) during construction (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
	works (Part 1B) is consistent with the heritage outcomes anticipated in the EIS. Whilst further direct impacts are required to George Street than was anticipated in the EIS, as a result of the poor condition to the external and internal fabric, the proposed works are required to retain and conserve the heritage item in accordance with Conditions D13 and D16. The proposed works reinforce the long-term preservation of the significant fabric of the heritage item through high-quality, adaptable interventions that do not preclude future uses or require subsequent removal.					

11. Impact Assessment – Operation

The proposed works are during construction only.

Aspect	Nature and extent of impacts (negative and positive) during operation (if control measures implemented) of the proposed change, relative to the relevant impact in the Approved Project	Proposed Control Measures in addition to project CoA and REMMs	Consistent Impact Y/N	Do any CoA need to be changed? Y/N	Endorsed	
					Y/N	Comments
Biodiversity	No change from approved project.	No additional measures required	Y	N		
Water	No change from approved project.	No additional measures required	Y	N		
Soils and contamination	No change from approved project.	No additional measures required	Y	N		
Air quality	No change from approved project.	No additional measures required	Y	N		
Noise and vibration	No change from approved project.	No additional measures required	Y	N		
Aboriginal Culture and Heritage	No change from approved project.	No additional measures required	Y	N		
Historic Heritage	The proposed works are considered positive in enhancing the long-term preservation of the George Street Shops and would prepare the historic building for future adaptive reuse works.	No additional measures required	Y	N		
Community and socio-economic	No change from approved project.	No additional measures required	Y	N		
Traffic and transport	No change from approved project.	No additional measures required	Y	N		
Waste and resource management	No change from approved project.	No additional measures required	Y	N		
Visual	No change from approved project.	No additional measures required	Y	N		
Land use and property	No change from approved project.	No additional measures required	Y	N		
Hazard and risk	No change from approved project.	No additional measures required	Y	N		
Other	No change from approved project.	No additional measures required	Y	N		

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12. Consistency with the Approved Project

Question	Response
Is the project (including the proposed changes) consistent with the conditions of approval?	Yes. The proposed remediation works at Parramatta Station construction site would be consistent with the conditions of approval and allows for protection of heritage fabric.
Is the project (including the proposed changes) consistent with the objectives and functions of elements of the Approved Project?	Yes. The changes identified in this assessment are consistent with the objectives and functions of the elements of the Approved Project. The purpose of the proposed change is to stabilise and conserve the external building fabric of George Street Shops, to ensure the long-term preservation, weather-tightness and structural integrity of the buildings, while minimising heritage impacts and retaining significant fabric as much as possible.
Are the environmental impacts of the proposed change consistent with the impacts of the approved project?	The proposed works would result in a change to heritage impact as assessed in the EIS. However, the proposed work constitutes essential works both in terms of maintaining the building and/or preventing further damage in accordance with the objectives of Section 118 of the <i>NSW Heritage Act 1977</i> . Any potential environmental impacts would be adequately managed through the use of existing REMMs and Conditions of Approval.
Are there any new environmental impacts as a result of the proposed works/project changes?	The proposed change would not result in new environmental impacts beyond those considered in the Approved Project. The proposed works would result in a change to heritage impacts as assessed in the Approved Project, however the nature and scale of impact would be consistent.
Are the impacts of the proposed activity/works known and understood?	Yes. The impacts of the proposed works are known and understood.
Are the impacts of the proposed activity/works able to be managed so as not to have an adverse impact?	Yes. The impacts of the proposed works can be managed so as to avoid an adverse impact.
Would any Conditions of Approval be required to be changed as a result of the proposed change (having regard to the above assessment)?	☐ Yes ☒ No
Is the proposed change/s consistent with the approval (having regard to the above assessment)?	☒ Yes ☐ No

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13. Other Environmental Approvals

Identify all other approvals required for the proposed works:

N/A

14. Recommendation

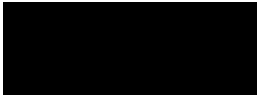
Based on the above impact assessment, and with reference to the *Sydney Metro West – Concept and Stage 1 (major civil construction between Westmead and The Bays) Environmental Impact Statement*, *Sydney Metro West – Concept and Stage 1 (major civil construction between Westmead and The Bays) Submissions Report*, *Sydney Metro West – Concept and Stage 1 (major civil construction between Westmead and The Bays) Amendment Report*, including the conditions of approval, it is recommended that:

Tick relevant box	
The proposed change has negligible or more than negligible impacts on the environment or community however is consistent with the Approval, including the conditions of approval. The proposed impacts are consistent with those assessed for the Approved Project (i.e., does not trigger a change to the conditions of approval).	☒
The proposed change is not consistent with the Approved Project including the conditions of approval and would be subject to a separate modification application.	☐
The proposed change is not substantially the same as the Approved Project and is considered a radical transformation. A new planning pathway should be considered.	☐

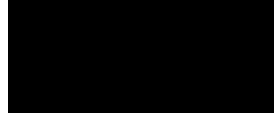
Author certification

I certify that to the best of my knowledge this Consistency Checklist:

- Examines and takes into account the fullest extent possible all matters affecting or likely to affect the environment as a result of activities associated with the proposed change; and
- Examines the consistency of the proposed change with the Approved Project; is accurate in all material respects and does not omit any material information.

Name:		Signature:	
Title:	A/ Environment Manager		
Company:	Sydney Metro	Date:	20/05/2026

Assessment Supporting Signature

Application supported and submitted by			
Name:		Date:	20/05/2026
Title:	Manager Planning Approvals	Comments:	N/A
Signature:			

Assessment Endorsement

Based on the above assessment, are the impacts and scope of the proposed change consistent with the existing Approved Project?

Yes ☒ The proposed change is consistent with the Approved Project and no further assessment is required.

No ☐ The proposed change is not consistent with the Approved Project.

A modification or a new activity approval/ consent is required. Advise Senior Project Manager of appropriate alternative planning approvals pathway to be undertaken.

Endorsed by			
Name:	██████████	Date:	21/05/2026
Title:	Director Project ESP Partnering	Comments:	
Signature:	██████████		

Appendix A – ‘George Street Shops’ 43-47 George Street, Parramatta NSW 2150 repair works to external building fabric Statement of Heritage Impact, OCP Architects, May 2026

‘GEORGE STREET SHOPS’

43-47 GEORGE STREET, PARRAMATTA NSW 2150

REPAIR WORKS TO EXTERNAL BUILDING FABRIC



STATEMENT OF HERITAGE IMPACT

Item Details: 'George Street Shops'

Address: 43-47 George Street, Parramatta NSW 2150

Client: Gamuda Laing O'Rourke Consortium (GLC)

Job No.: 26008

Date: 13 May 2026

Issue: B

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Cover Image

View of 43-47 George Street, Parramatta NSW 2150 (George Street Shops), which is the subject of this report, looking south. Source: OCP Architects, April 2026.

Report Register

The following report register indicates the development and issue number of this report, undertaken by OCP Architects.

Document status:

Issue	Date	Purpose	Written	Approved
A	01 May 2026	Pre-Construction for Client Review		
B	13 May 2026	Revised as per Comments by Client		

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APPENDIX A – TYPICAL STRUCTURAL DETAIL DRAWINGS, PREPARED BY SHREEJI CONSULTANT (HERITAGE STRUCTURAL ENGINEER), APRIL 2026

APPENDIX B – ARCHITECTURAL DRAWINGS, PREPARED BY OCP ARCHITECTS, MAY 2026

APPENDIX C – SCHEDULE OF WORKS, PREPARED BY OCP ARCHITECTS, MAY 2026

APPENDIX D – SPECIFICATION, PREPARED BY OCP ARCHITECTS, MAY 2026

1 INTRODUCTION

This Statement of Heritage Impact (SOHI) has been prepared for the client, Gamuda Laing O’Rourke Consortium (GLC), to identify and assess any potential heritage impacts associated with proposed repair works to the external building fabric of 43-47 George Street, Parramatta NSW 2150, a group of three terraced Victorian Regency buildings, collectively also known as the ‘George Street Shops,’ located within the broader Parramatta Metro Precinct.

43-47 George Street, Parramatta forms part of a locally-listed heritage item (41-59 George Street, Parramatta) and was constructed between 1839 and 1844. The buildings were originally developed as ground-floor shops with dwellings above. The George Street Shops became unoccupied following their acquisition by Sydney Metro in 2020 and remain vacant at the time of writing (May 2026).

OCP Architects provides architectural and heritage consulting services for contemporary and heritage projects. The company has over 30 years of experience, including architectural and heritage consultancy services to guide conservation, restoration and adaptive reuse works. OCP Architects have a longstanding involvement with 43-47 George Street, Parramatta, including undertaking extensive conservation works to the buildings in the 1990s. These works involved the reconstruction of the post-supported timber awning, missing chimney, shopfronts and timber joinery, and the removal of intrusive later rear additions. Prior to these works, much of the original significant fabric – including the original awning, shopfronts and various internal and external elements – had been removed. OCP Architects also prepared the current Conservation Management Plan for the site in 2023.

OCP Architects has been engaged by Gamuda Laing O’Rourke Consortium (GLC) to prepare documentation establishing a conservation methodology for repairs to the roof and stormwater system, as well as seismic stabilisation measures to 43-47 George Street, Parramatta. As part of this engagement, OCP Architects reviewed the condition of the external building fabric and provided recommendations on maintenance and repair works required to ensure the long-term stability, weather-tightness and performance of the building. This SOHI assesses the heritage implications of the proposed external repair works and considers whether the works are appropriate, sympathetic and consistent with the conservation of the place.

The current proposal is for comprehensive repair works to external building fabric to improve the condition of the buildings and to ensure that they are protected against water ingress and vandalism. It is also recommended that appropriate fire protection measures are implemented. In summary, the works consist of essential external repairs, including the renewal of deteriorated slate roofing and leadwork, replacement of damaged rainwater goods and downpipes, repairs to chimneys, brickwork and sandstone elements, reinstatement of traditional detailing, and improvements to subfloor ventilation and site drainage, as well as seismic stabilisation works. Refer to Section 5.2 for further information.

The proposed works are a component of the Sydney Metro West project (SSI 10038). This SOHI addresses the requirements of the Consolidated Approval document, *Sydney Metro West – Concept and Stage 1 Conditions of Approval*. Specifically, it addresses Condition D16, which mandates the implementation of protective measures for heritage items during construction to avoid potential impacts to significant historical archaeology, and Condition D27, regarding the oversight and advice of the approved Excavation Director.

Due to time and financial constraints identified by the client, the overall project has been divided into two documentation packages, as follows:

- **SOHI letter** – OCP Architects have recently prepared a brief Statement of Heritage Impact letter (dated 21 April 2026) for Gamuda Laing O’Rourke Consortium (GLC), addressing – and in support of – the installation of temporary freestanding scaffolding around all façades of the buildings. It was prepared as an enabling-works SOHI to allow access to the façades and roofs of the buildings ahead of the proposed repair works to external building fabric. The scaffolding methodology adopted for the proposal is based on the previously-approved freestanding scaffolding used for the 2023 roof repair works to 45 George Street, Parramatta, following the unauthorised removal of the lead ridge capping. As with the 2023 works, the scaffolding will be entirely freestanding, with no fixings into the heritage fabric.
- **A separate full SOHI** – a second documentation package follows the SOHI letter, consisting of this full Statement of Heritage Impact and accompanying architectural drawings, specification and schedule of works, documenting the proposed repairs to exterior fabric. The exterior fabric works include repairs to rainwater goods, downpipes, leadwork, chimneys and seismic stabilisation works. These repair works, being the subject of this report, form the full scope of this SOHI. These works will be able to proceed once the temporary freestanding scaffolding is in place.

The following documentation has been provided to OCP Architects for assessment in relation to the proposed repair works and is included as an appendix to this report:

- **APPENDIX A:** Typical structural detail drawings, prepared by Shreeji Consultant (heritage structural engineer), April 2026.

This Statement of Heritage Impact is to be read in conjunction with the full suite of documentation relating to the proposed external repair works. The Architectural Drawings, Schedule of Works and Specification prepared by OCP Architects in May 2026 collectively inform the current proposal and are included as appendices to this report, as follows:

- **APPENDIX B:** Architectural Drawings.
- **APPENDIX C:** Schedule of Works.
- **APPENDIX D:** Specification.

1.1 Report Objectives

This report aims to:

- Describe the existing subject site and its context, and assess their significance.
- Describe the proposed works.
- Assess the impact of the proposed repair works to the external building fabric on the heritage significance of 43-47 George Street, Parramatta, and on any surrounding heritage items and conservation areas.

- Provide recommendations for the next steps.

1.2 Site Identification

1.2.1 Parramatta Metro Precinct

The Parramatta Metro Precinct is owned by Sydney Metro on behalf of the NSW Government and comprises an amalgamation of multiple former individual land parcels with street frontages to Macquarie Street, George Street, Church Street and Smith Street. It also incorporates the full extent of Horwood Place between Macquarie Street and George Street. Since 2022-2023, substantial demolition and site preparation works have occurred across the precinct to facilitate the construction of the Parramatta Metro Station and associated over-station development. As a result, much of the earlier low-rise retail fabric that previously characterised George Street has been removed, including the former Parramall Shopping Centre. At the time of writing (May 2026), the precinct is in an active construction phase, and the immediate setting of 43-47 George Street has undergone substantial change.

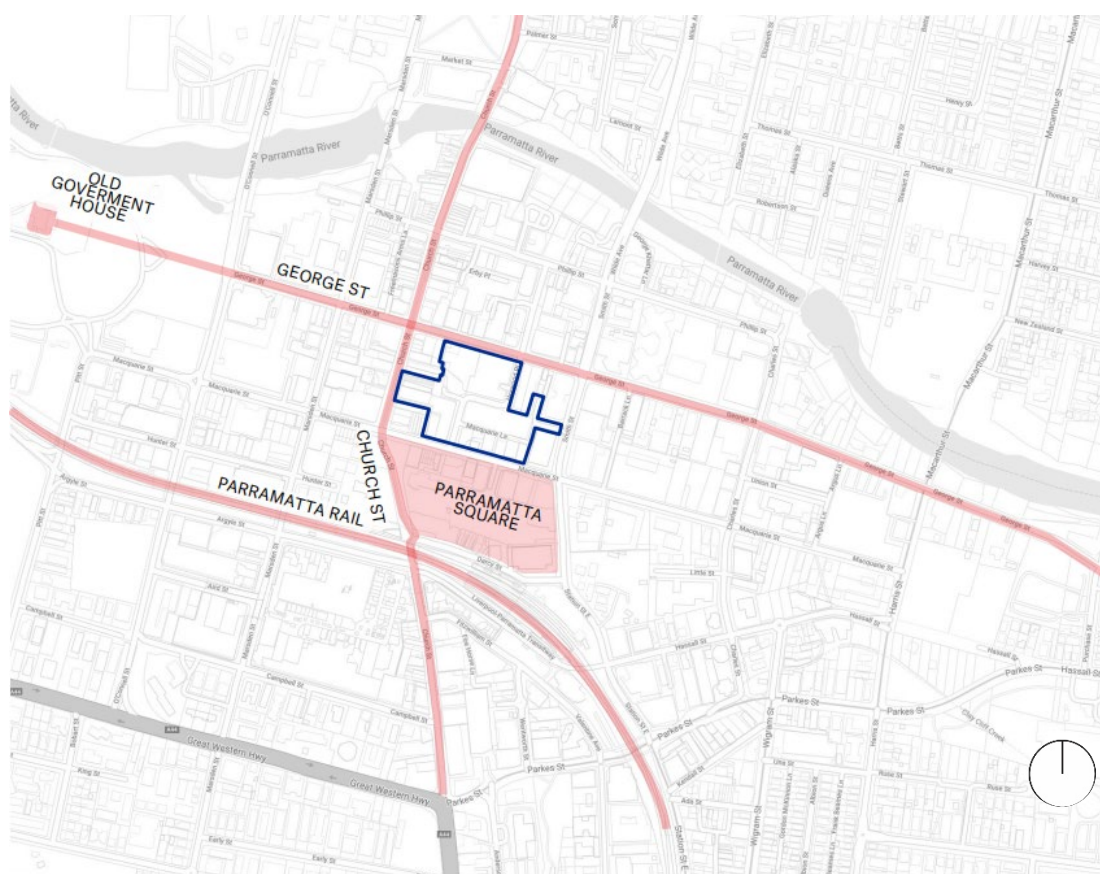


Figure 1.1: Location plan of the amalgamated site of Parramatta Metro Precinct. The precinct boundary is indicated by a blue outline. Source: Parramatta Metro Precinct Built Form and Urban Design Report, Sydney Metro, 2021.

1.2.2 41-59 George Street, Parramatta

Within the Parramatta Metro Precinct is the smaller amalgamated site known as 41-59 George Street, the whole site of which is subject to statutory heritage listing at a local level. This site is legally known as Lot 10, Deposited Plan 858392, located within the City of Parramatta Council. The cadastral register comprises the following land parcels:

- 41 George Street, Parramatta.
- 43-47 George Street, Parramatta (George Street Shops).
- 49-59 George Street, Parramatta.

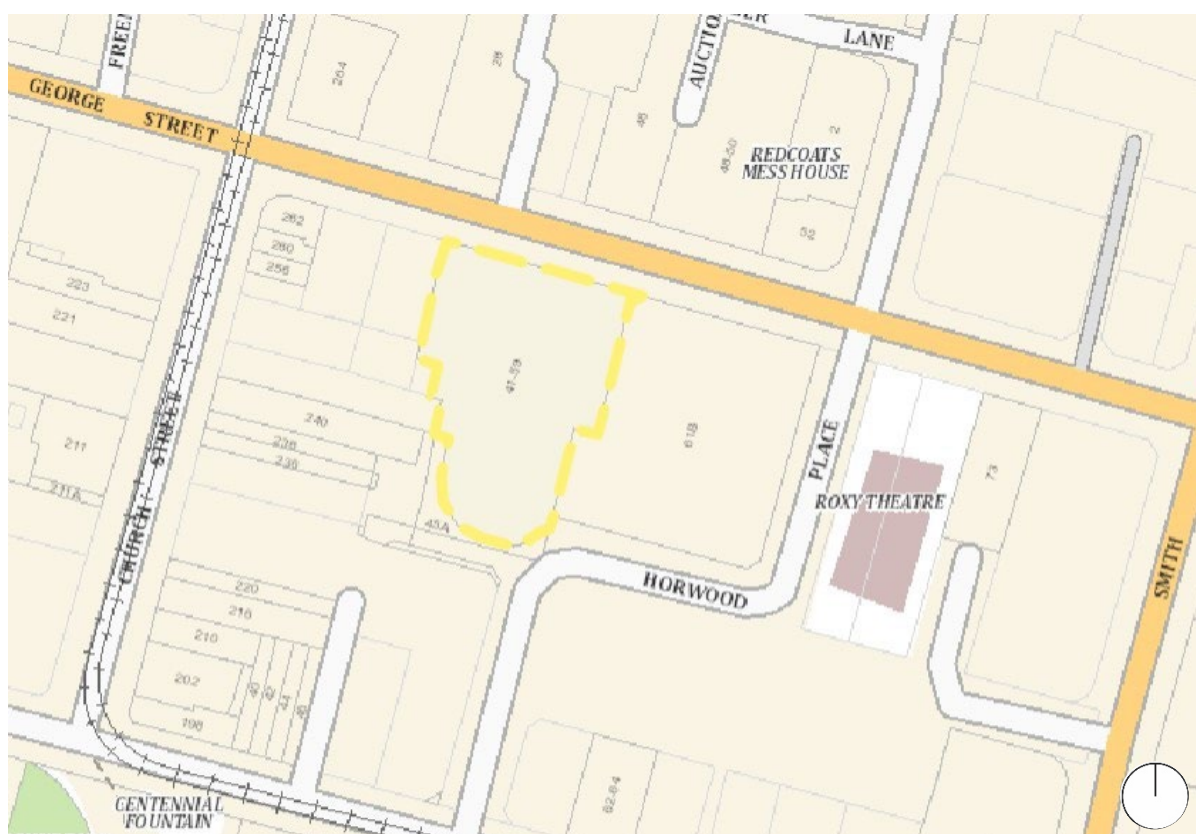


Figure 1.2: Lot plan for 41-59 George Street, Parramatta. Source: NSW ePlanning Spatial Viewer.

1.2.3 43-47 George Street, Parramatta

The subject of this report is a group of three terraced Victorian Regency buildings, collectively known as the 'George Street Shops,' located at 43-47 George Street, Parramatta. The subject site forms part of the larger locally-listed heritage item known as 41-59 George Street, Parramatta. The site is situated within the Parramatta Metro Precinct in the City of Parramatta.

The proposed works relate solely to 43-47 George Street, Parramatta, and its immediate setting, excluding the remaining land parcels within 41-59 George Street, Parramatta, and also the wider Parramatta Metro Precinct.

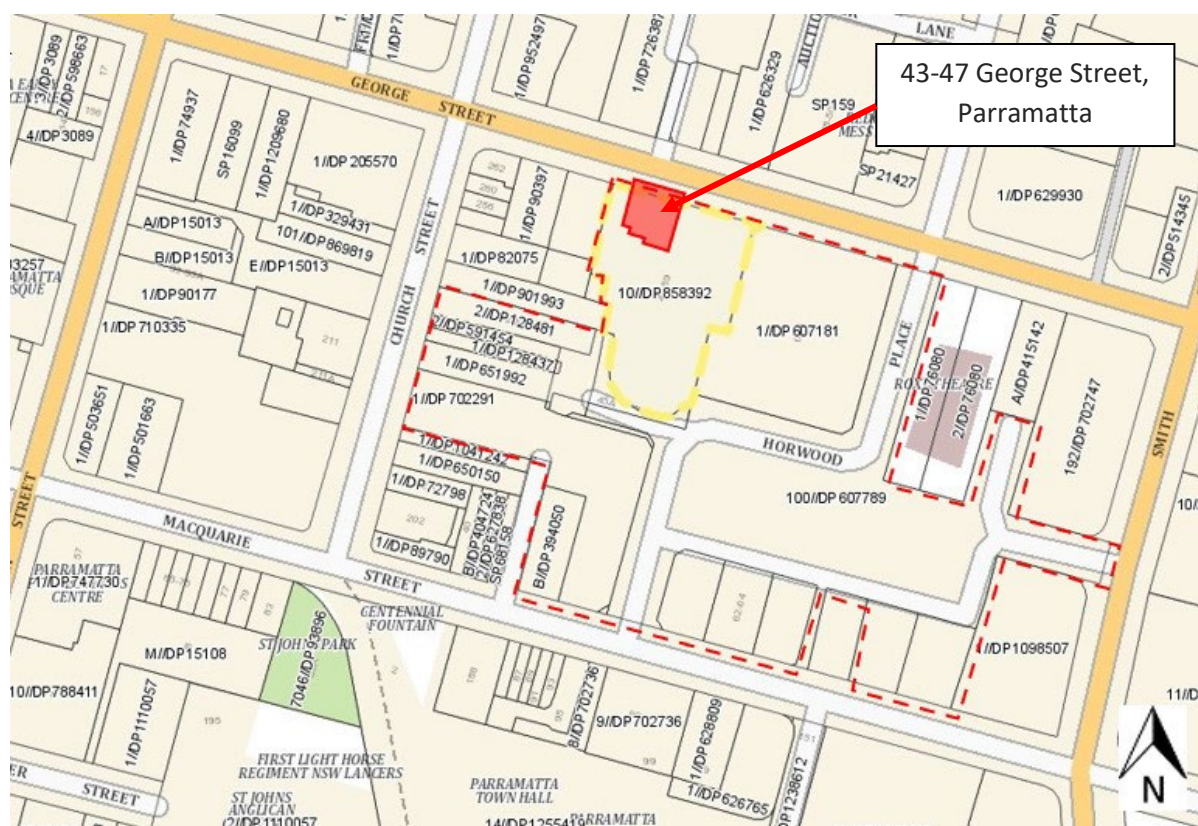


Figure 1.3: Cadastral plan showing the subject site at 43-47 George Street, Parramatta, shaded in red with a continuous red outline. The extent of Parramatta Metro Precinct is indicated by a dashed red line and the lot boundary for 41-59 George Street, Parramatta, is indicated by a dashed yellow line. Source: NSW ePlanning Spatial Viewer.



Figure 1.4: Aerial image showing the subject site at 43-47 George Street, Parramatta, following the extensive 2022-2023 demolition of neighbouring buildings. Source: Google Maps, accessed 15 April 2026.

1.3 Heritage Management Framework

The subject of this *Statement of Heritage Impact* is a group of three terraced Victorian Regency buildings, collectively known as the ‘George Street Shops,’ located at 43-47 George Street, Parramatta. The subject site forms part of a larger site known as 41-59 George Street, Parramatta, which is situated within the Parramatta Metro Precinct within the jurisdiction of the City of Parramatta Council. This report should be read alongside other relevant heritage management documents prepared for the City of Parramatta Council, particularly where those documents address specific heritage considerations for this site.

43-47 George Street, Parramatta, is located within the larger 41-59 George Street site, which is listed as a local heritage item, named ‘Shops and potential archaeological site’ under Schedule 5 of the *Parramatta Local Environmental Plan 2023* (PLEP 2023).

43-47 George Street, Parramatta, is not located within a Heritage Conservation Area (HCA) as defined under Schedule 5 of the PLEP 2023; nor are there any HCAs in the immediate vicinity of the subject site. There are numerous other heritage items of State and local heritage significance within the vicinity of 43-47 George Street, Parramatta, including the State-heritage-listed ‘Roxy Cinema,’ ‘Redcoats Mess House’ and the ‘Shop and office’ at 88-92 George Street, Parramatta; and such items as the locally-heritage-listed ‘Convict drain,’ ‘Kia Ora and potential archaeological site,’ ‘Horse parapet facade and potential archaeological site,’ ‘Former court house wall and sandstone cellblock and potential archaeological site,’ ‘Westpac Bank,’ ‘Civic Arcade (former theatre) and potential archaeological site,’ ‘Dr Pringle’s cottage’ and ‘Redcoats’ Mess House and potential archaeological site.’

The following table identifies the statutory heritage listings that apply to the subject site:

STATUTORY LISTING	ITEM NAME	ADDRESS	SIGNIFICANCE	ITEM NO.
<i>Parramatta Local Environmental Plan 2023</i> (PLEP 2023)	Shops and potential archaeological site	41-59 George Street, Parramatta	Local	I535

Statutory listings carry legal obligations that must be met in accordance with the proper management of the place.

The site is also included in Sydney Metro’s draft Section 170 Heritage and Conservation Register, which is a mandatory database required under Section 170 of the *Heritage Act 1977*, listing heritage items owned or managed by the agency. While inclusion on a Section 170 Register does not impose additional statutory controls on private development, it reflects the site’s recognised heritage value within the State agency’s asset management framework.

As such, the principal legislative framework applicable to development at 43-47 George Street, Parramatta, comprises the *Heritage Act 1977*; the Environmental Planning and Assessment Act 1979; and the *Parramatta Local Environment Plan 2023* (PLEP 2023), along with relevant SEPPs.

In terms of non-statutory heritage recognition, 43-47 George Street, Parramatta, is classified on the National Trust Register maintained by the National Trust of Australia (NSW). While this listing does not carry any legal obligations, it is indicative of recognised community heritage value.

A Conservation Management Plan for 43-47 George Street, Parramatta, was completed by OCP Architects in 2023.

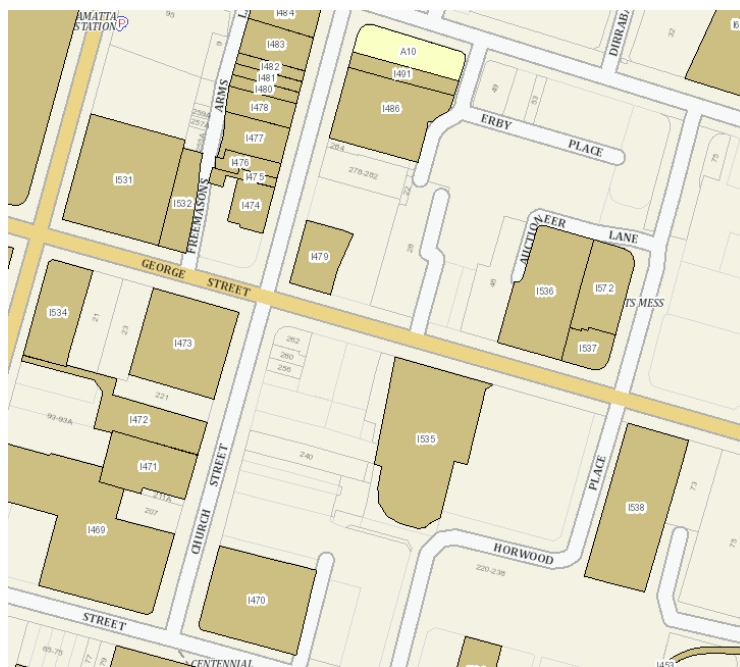


Figure 1.5: Extract from Paramatta LEP 2023 Heritage Map showing the subject site (Item I535) at 43-47 George Street, Parramatta, and nearby heritage items. The approximate location of the George Street Shops within the broader heritage-listed site is shaded red. Source: NSW Planning Portal.

This report has been prepared with reference to the *Heritage Guidelines for Preparing a Statement of Heritage Impact* (2023). The principles contained in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 2013* are used as a methodology for assessing heritage impact and providing recommendations.

This report does not address in great detail the site's pre-contact Aboriginal history, Aboriginal cultural associations or Aboriginal significance. In preparation of this CMP, consultation was not undertaken with key knowledge holders, or the Local Aboriginal Land Council.

The report was prepared by OCP Architects Pty Ltd, written by Sarah Mannion (Senior Conservation Specialist and Writer) and reviewed by Otto Cserhalmi (Director).

2 HISTORICAL OVERVIEW

The following historical summary has been drawn from the chronology contained in the Conservation Management Plan for 43-47 George Street, Parramatta (George Street Shops) (Version D), prepared for Sydney Metro by OCP Architects in July 2023.

2.1 Thematic history

The historical overview of George Street Shops in this report has been approached thematically. With this approach, it is possible to observe contextual patterns and associations – especially in relation to human activities – which may not be immediately obvious were a chronological approach taken. When the historical development of an area / item / landscape / building is interpreted as occurring in a thematic way, it can be thought about as a series of layers, with each one representing a progressively earlier or later theme / historical influence. Thinking about a place in terms of themes can help in understanding its significance.

This historical overview follows Heritage NSW's thematic framework, which identifies thirty-eight principal themes organised around the concept of the dynamism of human activity. These themes can be used to guide research questions, interpret the history, and structure the narrative of the development of George Street Shops within the context of the development of Parramatta.

The historical overview in this report draws on information contained in reports prepared for Sydney Metro West, including by GML Heritage¹ and Mott MacDonald Australia Ltd.² The historical overview is supplemented by additional desktop research.

2.2 Historical context

2.2.1 Aboriginal history pre-1788

Aboriginal people have been present in the Sydney region since at least the peak of the last glaciation some 20,000 years ago. Information about their presence and activities before the arrival of the First Fleet in 1788 is largely embedded as physical traces in the indigenous cultural landscape. Prior to the appropriation of their land by Europeans, Aboriginal people lived in small clan groups that were associated with particular territories or places. Territorial boundaries were imprecise by modern standards but were typically based upon natural features and traditions. Aboriginal people across Australia were diverse in their language and culture but shared core beliefs regarding their origins and history.

At the time of European arrival, the Aboriginal people of the Sydney area spoke the Darug language (also spelt Dharuk, Dharug and Daruk), often referred to as Eora, the meaning of which approximates to 'men, or people [from here]'.³ The Darug language group is thought to have covered the area south from Port Jackson, north from Botany Bay, and west to Parramatta.⁴

Parramatta's urban centre is sited on a thick layer of sand deposited by the Parramatta River 50,000 – 60,000 years ago as a result of extreme environmental conditions and flooding. Sporadic deposits

¹ GML Heritage, *Parramatta Station Construction Site: Revised Archaeological Research Design & Excavation Methodology*, August 2021.

² Mott MacDonald Australia Ltd, *Parramatta Over and Adjacent Station Development Historic Heritage Impact Assessment*, October 2022.

³ V. Attenbrow, *Sydney's Aboriginal Past: Investigating the Archaeological Records*, 2002, University of NSW Press, p. 35.

⁴ V. Attenbrow, *Sydney's Aboriginal Past: Investigating the Archaeological Records* (2nd ed) 2010, University of NSW Press.

of sand continued to occur until about 5,000 years ago. During the ‘Last Glacial Maximum’ (Ice Age) some 20,000 – 30,000 years ago, the sand was distributed across what is today’s central CBD area and despite destruction of deposits by development, areas remain today and provide evidence of First Nations people’s use of the landscape (refer Figure 2.1).

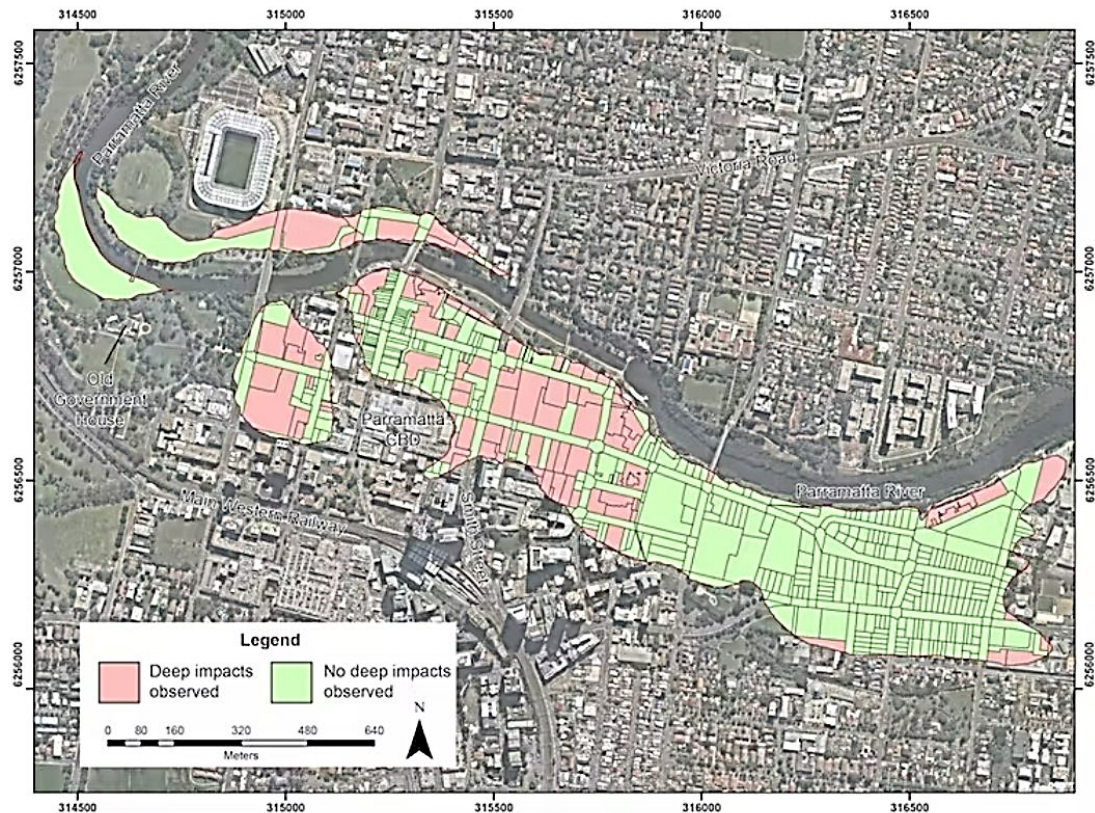


Figure 2.1: Distribution of the sand body along Parramatta River showing where deep impacts have occurred. The subject site is within Parramatta CBD and is unshaded. Source: Williams, A and McDonald, J, *Parramatta’s archaeological past reveals the deep-time history of the heart of Sydney*, UNSW Newsroom 10 November 2021.

Analyses of reports and artefacts in the area indicates that Aboriginal people mostly visited this part of the Parramatta River after the Ice Age, when about 14,000 years ago the large ice sheets began to melt rapidly. By 9,000 years ago, the sea level rose in the order of 125 metres to current levels, with the inundation of water driving people from the continental shelf all around Australia.⁵ There are few sites around south east Australia that pre-date this sea level rise and archaeological evidence shows that people were highly mobile as a result of it.

Over the past 9,000 - 10,000 years, there is evidence of an increase in local occupation. Use of stone from the Cumberland Plain found in artefacts, including axe-heads, spear barbs and hearths, demonstrates local knowledge of the resources available and extended occupation, which is also supported by evidence of camping sites. In 1788, Governor Arthur Phillip reported that bark huts, fire places, collected fern root and shells, hunted animals for bones and the fur of a ‘flying squirrel’ or possum were seen at a campsite at Parramatta (then Rose Hill).⁶

⁵ Williams, A and McDonald, J, *Parramatta’s archaeological past reveals the deep-time history of the heart of Sydney*, UNSW Newsroom 10 November 2021.

⁶ Stockdale, 1789. *The Voyage of Governor Phillip to Botany Bay*.

2.2.2 Post-contact history of Parramatta

At the time of European arrival, Parramatta was home to the Burramattagal clan of the Darug language group, who relied on the mixed food sources available from the river and the surrounding woods.⁷ The traditional land of the Burramattagal people was appropriated by colonists who claimed areas for settlement and agriculture. Natural resources such as water and timber were exploited by colonists, at the expense of the Burramattagal people. The introduction of diseases such as smallpox also devastated the local population. In 1789, over half of the Aboriginal population in the Sydney region are believed to have died of smallpox, which had spread across the Cumberland Plain and over the Blue Mountains.⁸

British settlement at Parramatta followed swiftly on the heels of the arrival of the First Fleet in Sydney Cove, fuelled by fears of starvation at Sydney Cove and the need for agricultural expansion after it was found that the sandstone soils of coastal Sydney were unsuited to cultivation. On 2 November 1788, a site was selected for a military redoubt (a form of fortress) at the Crescent in what is now Parramatta Park, and convicts were sent to the site two days later. Land was cleared and planted with crops. Apart from government agriculture, private farming also began. In November 1789, James Ruse was occupying and cultivating land at Experiment Farm. Later, it was granted to him.



Figure 2.2: Governor's house at Rosehill, July, 1790. Source: State Library of NSW, FL1772389.

⁷ Terry Kass, 'Paramatta', Dictionary of Sydney, 2008, <https://dictionaryofsydney.org/entry/paramatta>, accessed April 2022.

⁸ Butlin, N.G., 1983. *Our Original Aggression: Aboriginal Populations of South-eastern Australia, 1788- 1850*. Allen & Unwin, Sydney.



Figure 2.3: A view of Government Farm at Rose Hill N.S. Wales, 1791. Source: Watling and Lambert Collection, Natural History Museum, British Museum.

The British settlement at Parramatta was originally known as Rose Hill in honour of George Rose, Secretary to the British Treasury, who reportedly helped Phillip secure appointment as Governor. On 2 June 1791, it was renamed as Parramatta by Governor Phillip, based on the existing locality name used by the Burramattagal. Various meanings have been ascribed to the name Parramatta. Elizabeth Macarthur wrote at the time that it meant ‘head of the river.’ However, it is more generally understood to derive from Darug words for eel (‘burra’) and place or creek (‘matta’). It was the first place to be given a name by Europeans that was based on an Aboriginal name.⁹

Government House was built near the farm. This prompted the development of the town of Parramatta, which was laid out in 1790 with a long transverse street, High Street (later George Street), leading from the original landing wharf to Government House. The Government Farm had a house for Edward Dodd, Governor Phillip’s personal servant, and a barn with granaries. The convicts had huts lining the street with gardens in which they lived (refer Figure 2.2 and Figure 2.3).

A hospital was operating in 1789. In 1792, a new brick hospital was built on a site by the river. A gaol was commenced in 1797 in what is now Prince Alfred Park. The first service at St John’s Church was held on 17 April 1803, with its distinctive towers added in the 1810s. Originally all communication to and from Parramatta was by river, but a rough track to Sydney was later opened. Parramatta Road was laid out in about 1797 under the direction of Surveyor-General Augustus Alt.

Government House was set up as the governor’s Parramatta residence and a large area around it was set aside as the Governor’s Domain. It became Parramatta Park after it had been greatly reduced in size. Until the 1850s, many governors preferred to rule from Parramatta rather than Sydney.

⁹ Terry Kass, 2008. ‘Parramatta’. Accessed 1 May 2019, <https://dictionaryofsydney.org/entry/parramatta>

Manufacturing industries in Parramatta included weaving, brewing, and brick manufacturing. The streets were regularised in 1811 and 1814. Inns emerged as commerce expanded in the town, changing a convict-based economy into a market-based economy.

The Female Orphan School, a pet project of Governor Macquarie's wife Elizabeth, was completed on 30 June 1818. Known as the Female Factory, it was occupied in February 1821, housing convict women awaiting assignment or who had been returned to the government by their employers. It now forms part of Western Sydney University's Parramatta campus.

In May 1823, a Governor's Proclamation permitted those who held land in towns, including Parramatta, to obtain a lease for 21 years. Those who were willing to pay 21 years 'quit rent' or had spent over £1,000 on building were entitled to a grant. Previously, some grants been made in the town but most land was held under lease or at sufferance. The proclamation gave townspeople secure tenure of their land, which they could develop for commercial or residential purposes. When the leases expired in the 1840s, there was a long period of tidying up of property ownership in Parramatta, which enabled some canny speculators to obtain a good deal of land in the area. The process of finalising grants continued into the 1850s.¹⁰

Parramatta grew as the major regional centre for western Cumberland with its courthouse, Government House, markets and stores. It provided professional services in law and medicine. Many specialist suppliers operated from Parramatta, while notable hotels such as the Red Cow and the Woolpack added to its attractions. The establishment of the King's School fixed Parramatta's role as a major educational centre. The school moved into new premises on the north side of the river in 1835.

The convict regime came to an end in the 1840s: the withdrawal of the imperial garrison and the loss of its financial expenditure meant a reduction of functions for Parramatta, and its economy suffered consequently. However, Parramatta was left with a legacy of major convict era buildings. These were later converted into public institutions such as the Lunatic Asylum (former Female Factory), Benevolent Asylum (George Street convict barracks), Lancer Barracks (former military barracks), and Parramatta Gaol. The arrival of the railway in 1860 changed the focus away from George Street and the road from the wharf to Church Street and the railway station. Major stores and businesses began to re-align themselves along Church Street rather than George Street.

The first half of the twentieth century again saw the Parramatta CBD continue to develop. Development around Church Street, to the west side of Macquarie Street in particular, had become denser. Additional rows of houses were constructed along the north side of Macquarie Street between Charles Street and Argyle Lane and along the south side of George Street to the east of Harris Street. However, a number of large open areas remained, including the former locations of the Asylum for Old Men and the Australian Gas Light Company works. In the case of the former location of the asylum, and Prince Alfred Square, the open spaces featured zigzagged shaped air raid trenches during WW2.

A tramway was established down Windsor Road and Church Street but was removed by the mid-twentieth century. During the second half of the twentieth century, the Parramatta CBD developed into the modern commercial precinct that is seen today.

¹⁰ Terry Kass, 'Paramatta', Dictionary of Sydney, 2008, <https://dictionaryofsydney.org/entry/paramatta>, accessed April 2022.

2.2.3 Development of 43-47 George Street



Figure 2.4: Brambila's 1793 drawing of Parramatta with huts lining High Street (now George Street). Source: British Library map collection, cited in Parramatta Station Construction Site, Revised Archaeological Research Design & Excavation Methodology, GML Heritage, August 2021, p. 16

Early historic mapping and illustrations show that the Parramatta Metro Precinct is located within an area laid out by Governor Philip during the late eighteenth century for the establishment of rows of early convict timber, wattle and daub hut accommodation, with small gardens which provided food for residents (refer Figure 2.4 to Figure 2.6). These huts were generally located along Church and George Streets. Although Macquarie Street does not appear to have been utilised for convict housing, the area may have been used for horticultural purposes.

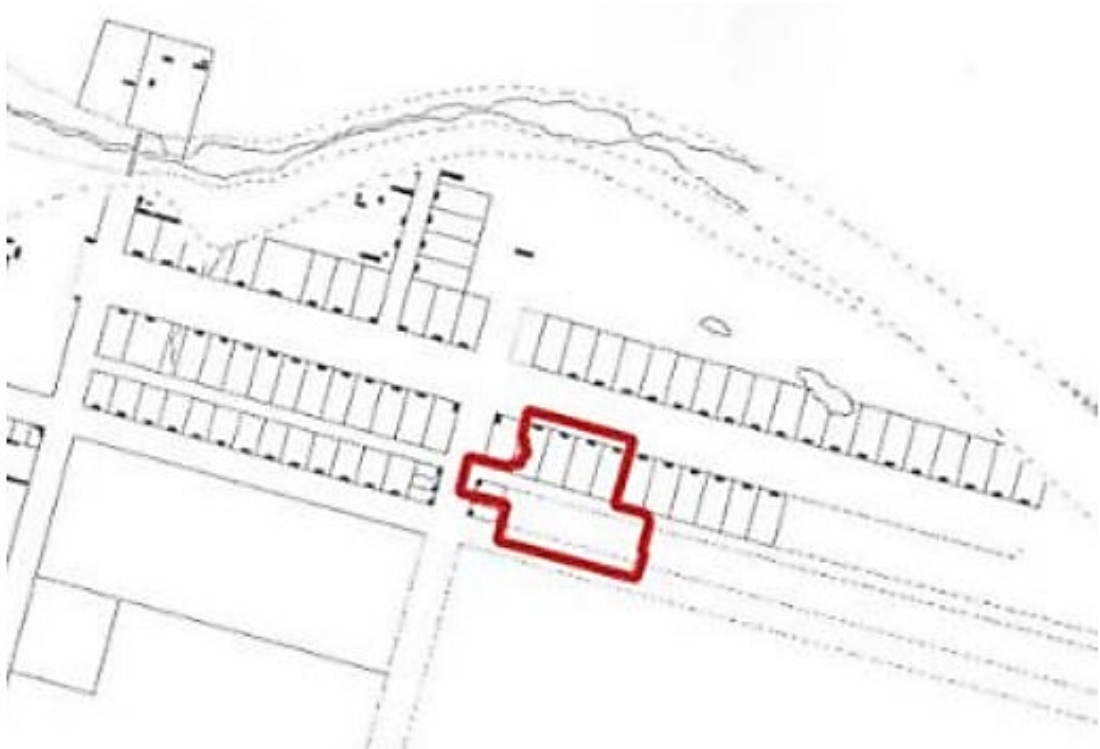


Figure 2.5: Detail from the Parramatta Archaeological Zoning Plan in 1792, showing the Parramatta Metro Precinct outlined in red.

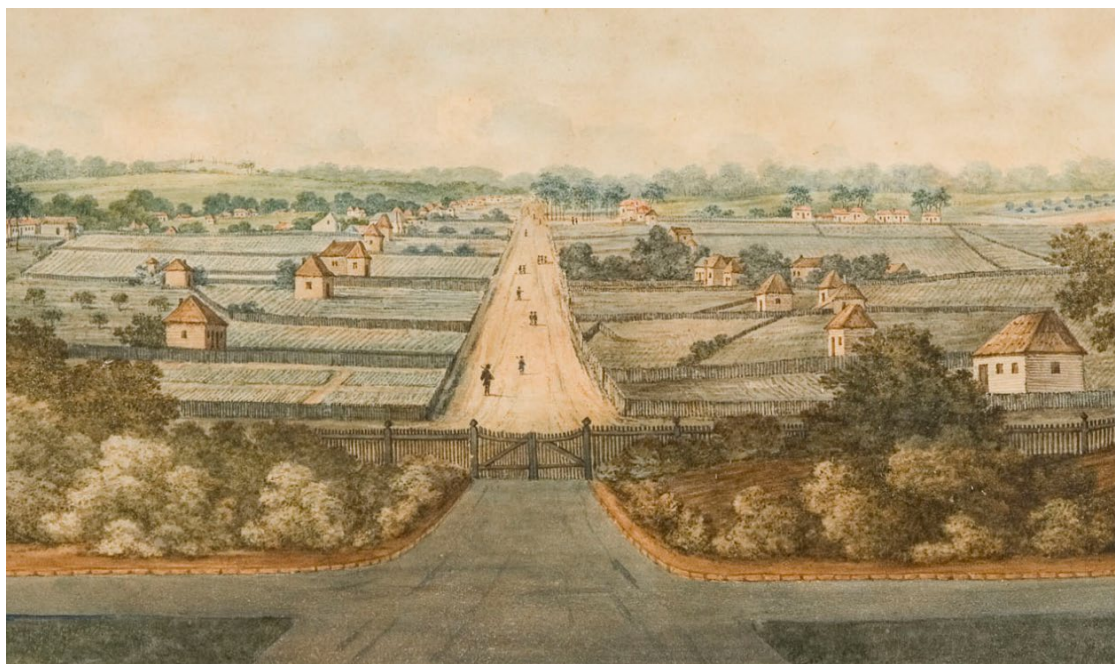


Figure 2.6: High Street (now George Street), Parramatta, from the gates of Government House, c.1804-05. Source: Historic Houses Trust of NSW, Caroline Simpson Library and Research Collection.

The timber, wattle and daub convict accommodation along Church and George Streets was gradually replaced from the 1820s onwards by more substantial residences and workshops made from brick and sandstone. The newly developed structures along George Street would typically have been private residences, while the small gardens and horticultural plots to the rear of the convict huts were developed into residential and trades yards. The allotment encompassing the subject site of 43-47 George Street is known to have had two convict huts, with the remains of one surviving in-situ within modern redevelopment (refer Figure 2.7). The remaining hut is thought to have been constructed in 1790-91. It was weatherboard in formal government reports before 1801 and was still extant up to about the 1820s.¹¹

George Street was originally 205 feet (62.484 metres) wide, but it is now 20 metres wide. This means that the original street frontage is now 21.242 metres behind the present frontage. After 1804, the boundaries of the convict allotments were altered to the recorded configuration in 1823. The 1823, 1831, 1839 and 1844 maps of Parramatta indicate that Allotment 14 possessed a single building in approximately the same position as the previous convict hut.

In 1823, John Montgomery was the lessee of the site. Montgomery, born in 1763, was transported from County Cork in Ireland, and arrived in Sydney as part of the third fleet in April 1791. In April 1805, he was convicted of receiving stolen property, resulting in secondary punishment. He went on to become a constable at Parramatta in 1814 and acted as a juror in 1819 and 1820, an expression of the prevailing (though contested) views on social transformation under Macquarie's rule. In 1819, Montgomery received a grant at Castle Hill and in 1820, supplied fresh and other goods to HM Magazine and the Commissariat Stores in Parramatta. He continued his pastoral pursuits into the

¹¹ Artefact, Sydney Metro West Non-Aboriginal Archaeological Research Design, October 2020, p.20.

1820s including at 'Dog Traps'.¹² The Land and Stock muster of 1822 noted that he was resident on his grant and held 160 cleared acres.¹³

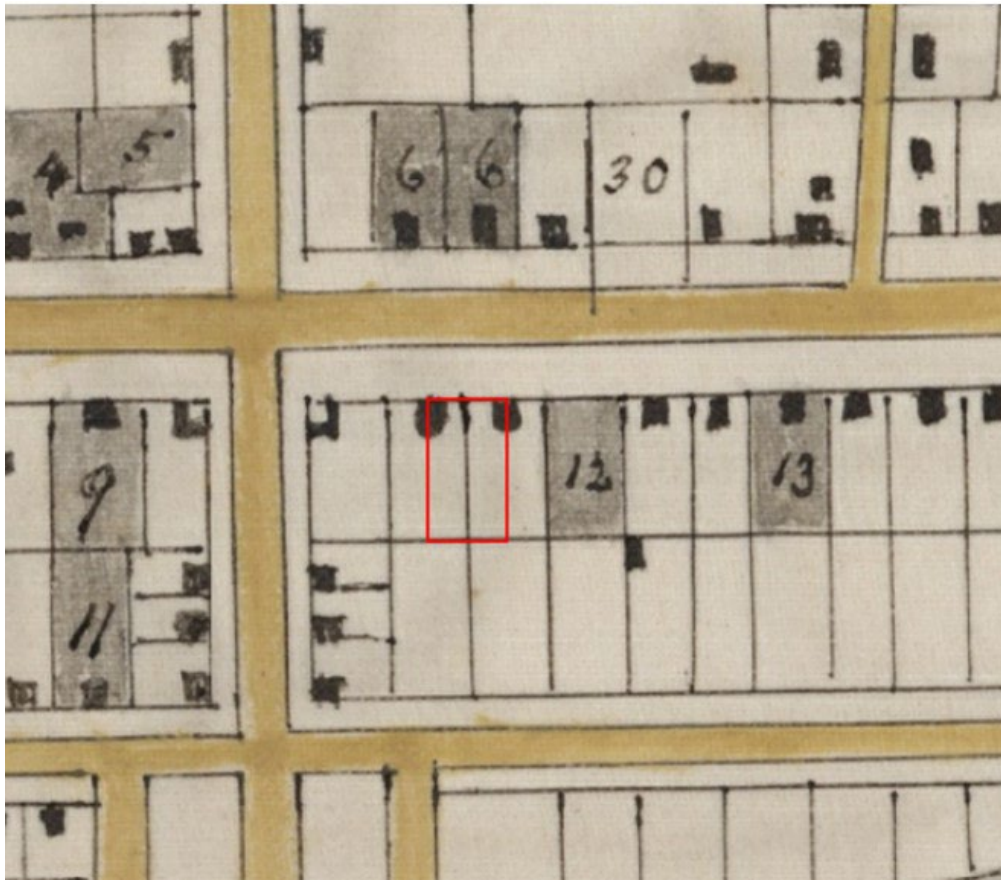


Figure 2.7: Excerpt from GW Evans' Plan of Parramatta, 1804 (incorrectly marked 1813) showing location of convict huts. 43-47 George Street is outlined in red. Source: SLNSW, Accession Number FL3541829.

In 1822, Montgomery received a licence for the sale of beer at unspecified premises in Parramatta. There is evidence that the license was renewed in 1825. The name and location of the premises – Saint Patrick's Inn, George Street, Parramatta – was revealed in later license renewals from 1829 to 1836. On 5 April 1823, John Montgomery was listed in the General Return of Allotments in the Town of Parramatta. He held two allotments, namely Allotment 14 of Section 16 (the subject site) and Allotment 30 of Section 12 (on Hunter Street, Parramatta). This would suggest that it is likely that Saint Patrick's Inn was located on Allotment 14. However, a single building is consistently shown on Allotment 14 on maps of Parramatta dated 1823, 1831, 1839 and 1844, and it is only between 1839 and 1844 that a new building is shown erected to the street frontage (45-47 George Street). The new building was of masonry construction while the building on the original frontage was possibly of wooden construction (refer Figure 2.9).¹⁴ A portion of this building is shown in the 1842 sketch as Mr Barley's Store (refer Figure 2.8).

¹² This was to the south of Parramatta: Woodville Road was originally known as Dog Trap Road.

¹³ Parramatta Construction Site, *Archaeological Research Design & Excavation Methodology*, GML Heritage, November 2021, p.51.

¹⁴ Ibid. p.49.



Figure 2.8: Sketch map of Church and George Street, Parramatta c.1842. Mr Barley's Store is annotated, indicated by red arrow. Source: NLA MAP F 157.

Montgomery died in September 1841, leaving his wife, Elizabeth Andrews, a life interest in Allotment 14 and bequeathing it to the Roman Catholic Church after her death. In July 1845, Elizabeth Andrews relinquished her life interest in Allotment 14 to Rev. John Bede of the Roman Catholic Church in accordance with her late husband's will.

In 1848, the property was subdivided into three lots and advertised for auction. The subject lot, Lot 1, was described as 'the house and premises erected thereon well of water and garden'¹⁵ and is shown to include a cottage with verandah to George Street, and outbuildings including stables, kitchen and smithy to the western side of the lot (refer Figure 2-10).¹⁶ Lot 1 was purchased by Frederick Beale, a baker, for £250. Substantial improvements may have been made to the property by 1854, for it was then sold to publican Peter Miller for £1000. Miller opened a wholesale wine and spirits store in 'commodious premises' opposite the Red Cow Inn, which appears to have been in adjacent premises owned by William Welsh.¹⁷ He leased his property, comprising two houses, to Stephen Barge and Patrick Sheedy. The Council Rate Book describes Lot 1 as comprising 2 stone houses, each having a rateable value of 78 pounds and 65 pounds for the western and eastern halves respectively, indicating that the houses were attached dwellings.

¹⁵ Ibid. p.53.

¹⁶ Ibid. p.53.

¹⁷ 'Parramatta Parramatta', *The Sydney Morning Herald*, Tuesday 11 April 1854, p.2.



Figure 2.9: Sketch 1844 Brownrigg Plan of The Town of Parramatta showing the lot location of the subject building, outlined in yellow. Source: SLNSW Access No. FL3690444.

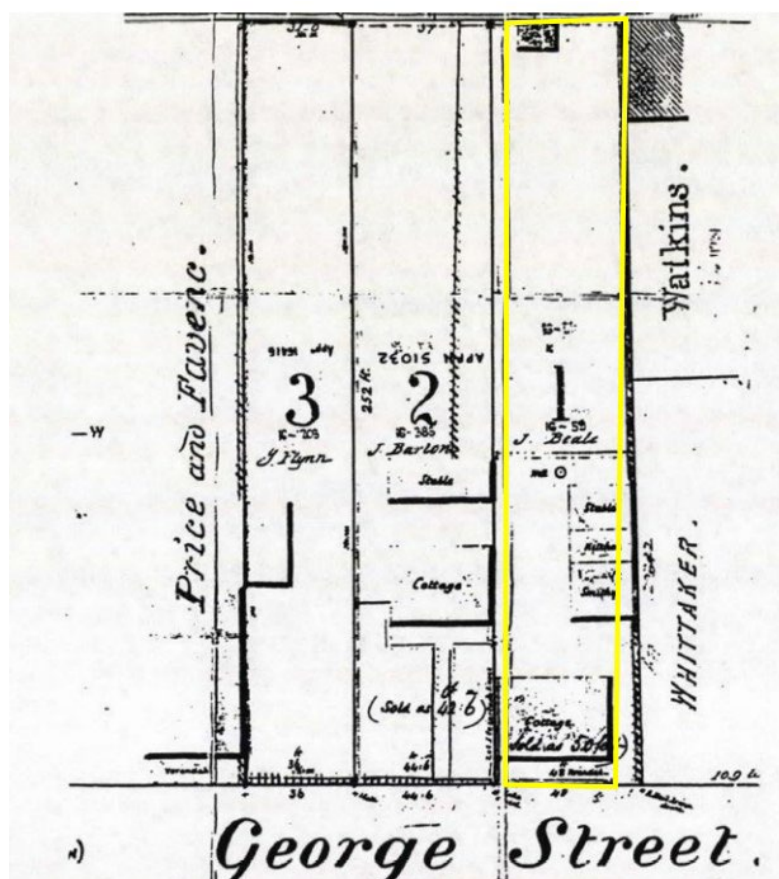


Figure 2.10: Subdivision of Allotment 14 of Section 16 into three lots, 1848. Source: Reproduced from E Higginbotham, 41–53 George Street, Parramatta, p. 70.

In November 1860, a sale of goods was announced by John Golledge due to impending extensive renovations of the premises:

PARRAMATTA. PARRAMATTA. – SELLING OFF SELLING OFF. Opposite the Red Cow Inn, George Street. – John Golledge respectfully informs the inhabitants of Parramatta and the district, that in consequence of extensive repairs and improvements about to be made in his premises, he determined to clear out the whole of his extensive stock of General Drapery, at greatly reduced prices. Sale to commence on the 15th November.¹⁸

Miller sold the property to Henry Charles Woolcott for £2000 in July 1876. Woolcott paid £500 towards the sale price and mortgaged the property to Miller for £1500. Miller retained use of the stable in the rear courtyard. Woolcott established his business on the premises as a chemist and druggist, which – as is evident in an 1877 drawing – comprised a two-storey building with an awning that extends over the footpath (refer Figure 2.11).

The equity in the business and property were sold to chemist Samuel Harris in January 1879 and then to Joseph Whitworth of Parramatta in June that same year. The mortgage held by Miller was paid by December 1883 and the interest in the property conveyed to Whitworth.¹⁹ The subject site is seen in a photograph of George Street at that time (refer Figure 2.12 and Figure 2.13).

¹⁸ *The Sydney Morning Herald*, Wednesday 14 November 1860, p.2.

¹⁹ GML Heritage 2021, p.54.

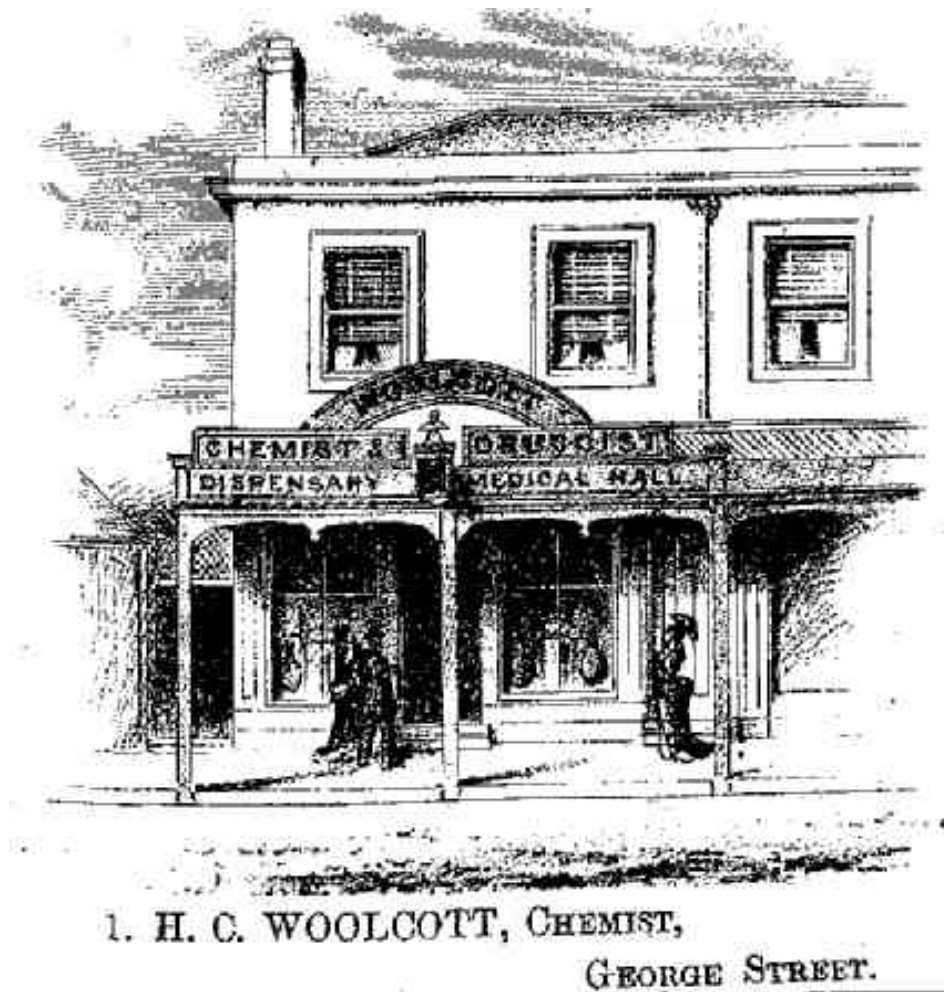


Figure 2.11: HC Woolcott's chemist in George Street on Lot 1 of the re-subdivision of Allotment 14 of Section 16. Source: Illustrated Sydney News and New South Wales Agriculturalist, 10 November 1877, p. 1



Figure 2.12: George Street Parramatta, 1879, James Vickers. Source: National Library of Australia.



Figure 2.13: Excerpt of James Vickers' 1879 photograph of George Street, showing the George Street Shops - indicated by a red arrow - with the post-supported awning indicated by lower red arrow. Source: National Library of Australia.

The 1882 Council Rate Book describes the property as containing brick houses, while that of 1891 describes the western half as a brick house and dwelling and the eastern half as a brick shop and dwelling.²⁰

The 1895 survey plan of Parramatta shows the building outline with an extension or large outbuilding constructed directly behind the earlier square building on the western boundary. Two further outbuildings are located behind the main building: one directly to the rear southwest corner and one further south along the eastern boundary. The yard behind the building is fenced separately to the lot boundary. There appears to be a cartway to the west of the building with a structure overhead, which could indicate that the western portion of the building (First Floor) had been constructed by this time (refer Figure 2.14).

²⁰ Ibid.

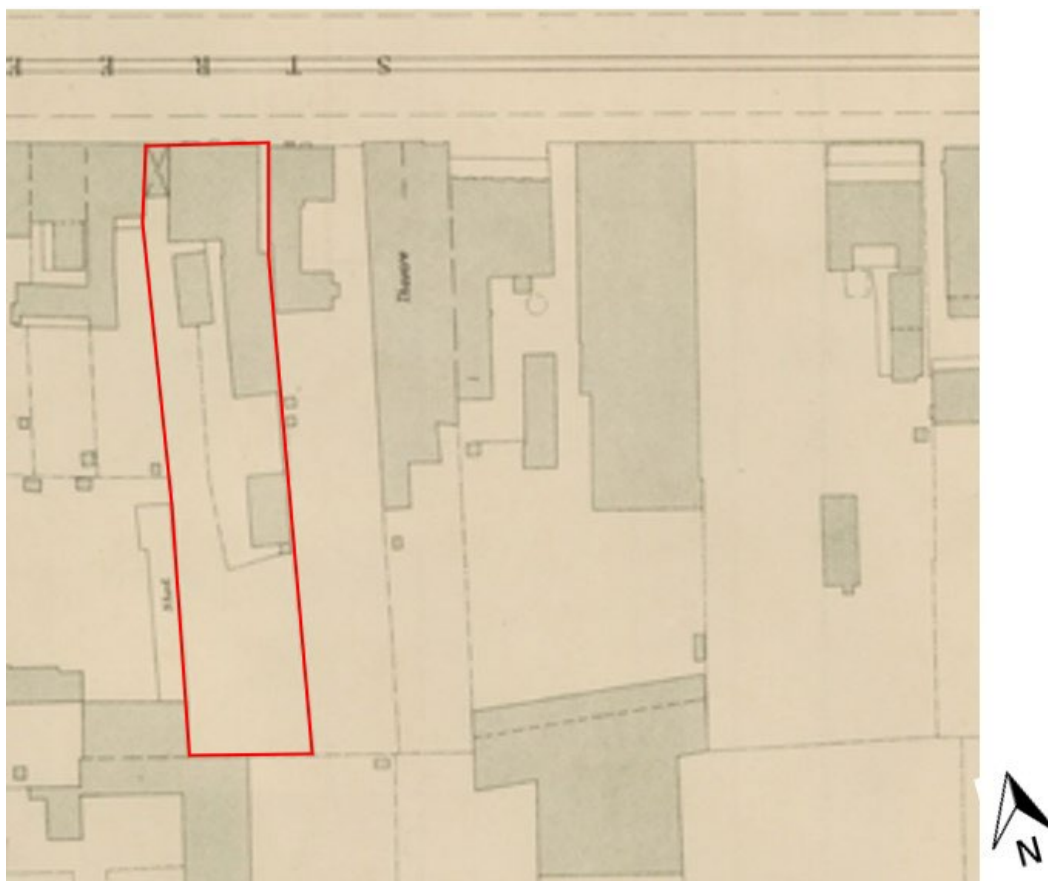


Figure 2.14: An 1895 plan of the lot shows the main building attached to the outbuilding on the eastern side of the lot, with setback at front, and two freestanding outbuildings. The yard at the rear of the building is fenced separately. A cartway is located to the west of the main building. Source: Parramatta Survey Sheet No.218, 1895.

Throughout the twentieth century, the structures were used for various commercial purposes. In 1921, Mrs Sybil Lilian Fortescue, ‘the live wire of Bennington’s Orchestra’, opened Cinema Music House at 45 George Street.²¹

The finalisation of the Whitworth estate, which included numerous properties in Parramatta, saw the property advertised for auction on 23 March 1923 with the following description:

PARRAMATTA, George Street, near Church Street—Pair semi-detached BRICK SHOPS and DWELLINGS, known as Nos 45 and 47 George Street, with extensive outbuildings, Land 50 feet x 253 feet.

In 1926, the buildings on the front of the lot were described as brick shops. There were extensions to the rear, the eastern one of which was called a brick dwelling. There was also a detached brick outbuilding to the rear, on the eastern boundary of the lot.²² The 1926 survey plan of the property (refer Figure 2.15) showed that the outbuildings at the rear of the shops were connected to the main building. A portion of the western side of the lot was fenced and a right-of-way then provided access to the rear of the property. It indicated that the large outbuilding / extension to the rear of the eastern shop was brick dwellings (refer Figure 2.16).

²¹ The Cumberland Argus and Fruitgrowers Advocate 15.1.1921, p.6.

²² Archaeological Management and Consulting Group, 2003, p.25.

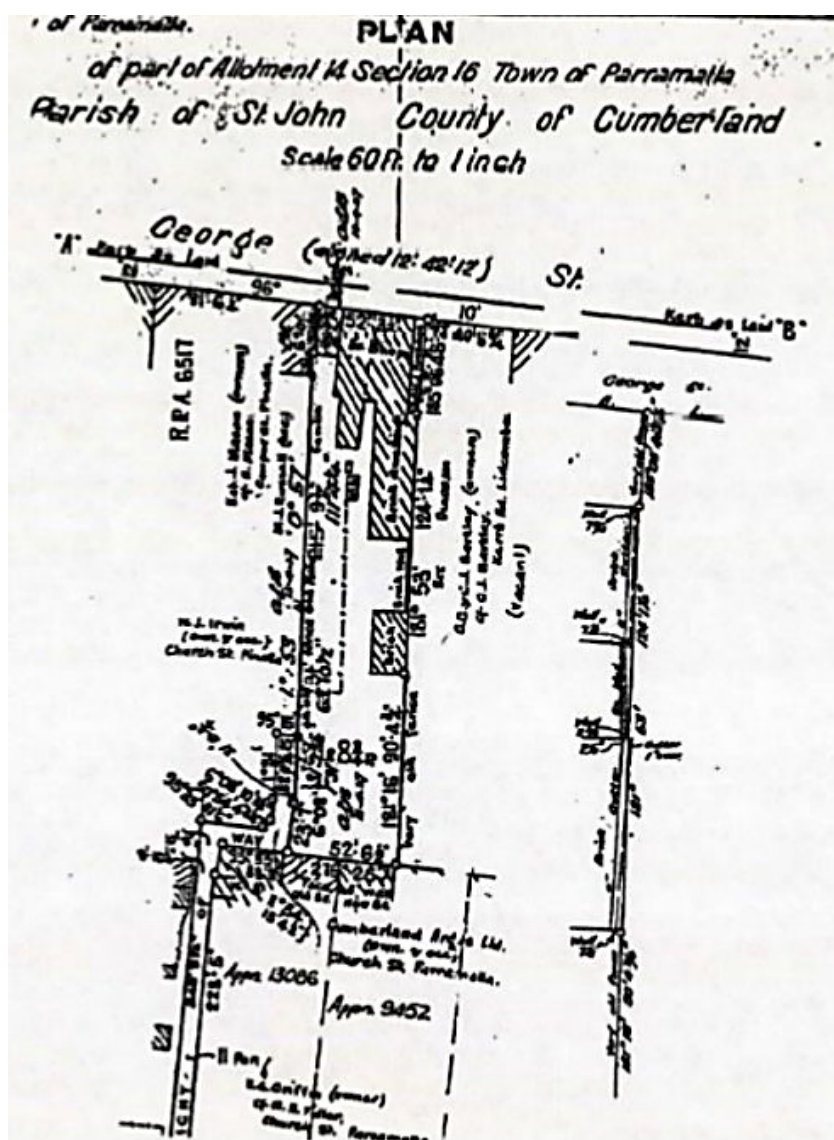


Figure 2.15: Survey plan of Allotment 14, Lot 1, 1926. Source: NSW Land Registry Services, DP 395076.



Figure 2.16: Aerial view showing outbuildings at rear of 43-47 George Street in 1935. The large outbuilding on the east was described on the 1926 survey plan as ‘brick dwellings’. Source: National Library of Australia.

Booth & McCallum home furnishers are first advertised at 47 George Street in 1927.²³ The business changed hands in around 1931 and became known as Maples Furnishing, occupying 45 and 47 George Street.²⁴ Between 1933 and at least 1936, Sterling Furniture Co. occupied the premises²⁵, which was possibly a renaming of Maples Furnishing (refer Figure 2.17).



Figure 2.17: The Cumberland Argus & Fruitgrowers. Source: Advocate, 14/3/1935.

Wilks piano sale is advertised at 47 George Street in 1936²⁶ and Arthur Hertford was selling leather goods from the premises in 1947.²⁷

A fire destroyed the Old Victoria Theatre to the east of the site in March 1939. The fire raged for two hours and resulted in the catastrophic collapse of the structure. It is noted that the contents of shops fronting George Street were badly damaged by smoke and water, although no structural damage was reported.²⁸ Photographs taken in the period show the large extension to the south-east corner of the building and a number of outbuildings on the eastern boundary (refer Figure 2.18 and Figure 2.19).

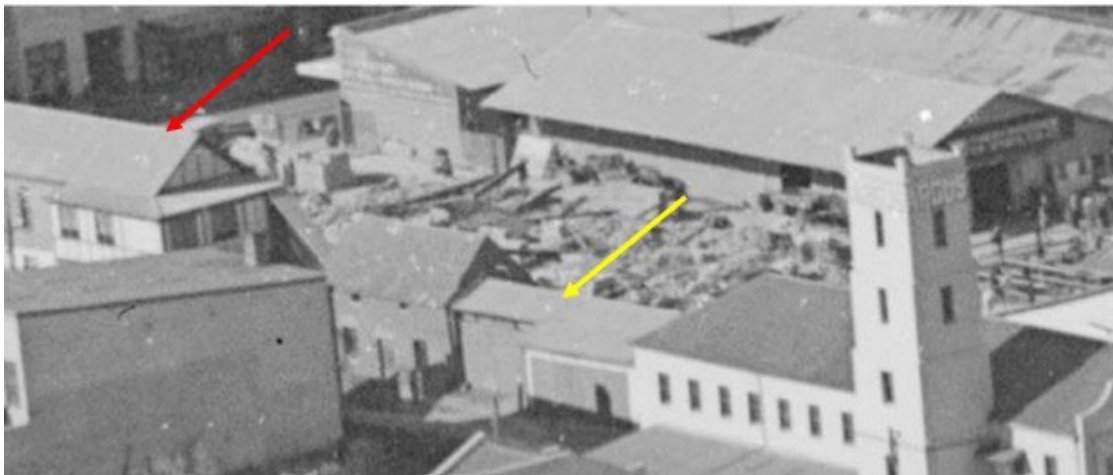


Figure 2.18: Detail of EW Searle's oblique aerial of Parramatta, c.1939 / 40 showing the rear of Lot 1 with a two storey extension (red arrow) and outbuildings (yellow arrow) against the eastern boundary. Source: National Library of Australia.

²³ The Cumberland Argus and Fruitgrowers Advocate, Friday 6 May 1927, p.6.

²⁴ The Cumberland Argus and Fruitgrowers Advocate, Thursday 8 January 1931, p.10.

²⁵ The Cumberland Argus and Fruitgrowers Advocate, various advertisements appearing between 1933 & 1936.

²⁶ The Cumberland Argus and Fruitgrowers Advocate, Monday 16 November 1936, p.3.

²⁷ *Nepean Times*, Thursday 14 August 1947, p.7.

²⁸ "Firemen escape rain of bricks as walls collapse. Fire destroys old theatre in Parramatta. Chapter of Accidents after alarm", *Daily Telegraph*, Friday 3 March 1939, p.2.



Figure 2.19: Detail from aerial photograph by Frank Hurley c.1940 with the site area indicated by a dashed yellow line. Source: nla.gov.au/nla.obj-160018036/view.



Figure 2.20: 1943 aerial view of the subject site. Development is present adjacent to the site on each side, including to the east on site of former Old Victoria Theatre. Source: SIX Maps, accessed 2022.

During the twentieth century, Lot 1 of Allotment 14 remained virtually unchanged from plans made in 1895. The form of the buildings on the lot is comparable in 1895 (plan), 1938, 1955, 1966 (aerial

photographs) and 1995 (development plan). However, at some stage, the two shops were made into three by the conversion of a carriageway into No.43 George Street. It is not clear when precisely this took place, though it is likely to have been in the late nineteenth century. It was not until the late twentieth century that the rear wings of the stone-faced building were demolished.²⁹

At some stage in the early twentieth century, the post supported timber awning was replaced by a suspended awning, with the replacement awning evident in a historical image circa 1930s (refer Figure 2.21 and Figure 2.22). In the block between Church and Smith Streets, the buildings fronting George Street provided a relatively consistent awning over the footpath (refer Figure 2.20 and Figure 2.23).



Figure 2.21: George Street, Parramatta, view of the east side looking north from the George Street intersection, c.1930s. Source: City of Parramatta, Research and Collections.

²⁹ Rod Howard 1994, pp.17-20, cited in AMC Group, 2003.



Figure 2.22: Detail from Figure 2-21, c.1930s showing suspended awning on the George Street Shops. Source: City of Parramatta, Research and Collections.



Figure 2.23: Detail from aerial photograph by Frank Hurley c.1940. Note that the Victorian structures adjacent to the subject site as evident in Figure 2.22 have been replaced. The subject site, along with 41 George Street adjacent, is circled. Source: National Library of Australia.

Historic aerial images show building on the adjacent eastern lot up until 1965. By 1970, the adjacent development had been demolished and the site is in use as a carpark by 1978. Refer Figure 2.24 and Figure 2.25.



Figure 2.24: 1965 aerial, showing building on east adjacent site (outlined red). Source: LPI Historical Imagery.



Figure 2.25: 1978 aerial, showing carpark on east adjacent site (outlined red). Source: LPI Historical Imagery.

Around this time, in 1974, the subject site was described as old brick shop and dwelling – with an old brick shed and old irregular galvanised iron shed behind. The building is depicted in an image circa 1970s with suspended awning still extant and chimney missing from the front north eastern corner (refer Figure 2.26). Also shown are openings on the eastern façade with evidence of connection to the previous development on the east. No historic images of the eastern façade prior to the 1970s have been located and no specific evidence has been found to confirm the presence or otherwise of verandah or balcony on the east façade in the early history of the building.



Figure 2.26: Undated image of the George Street Shops circa 1970s. Note that the chimney and post supported awning evident in 1877 drawing of Woolcott's Chemist are missing, with the latter component having been replaced by a suspended awning. This image shows the eastern elevation, with openings in accordance with current arrangements. There is evidence of connection to the previous development on the east, in particular a possible walkway from the rear opening indicated by remnant paintwork on the brick around the opening and a series of openings at floor level likely for accommodation of joists. Source: National Trust of Australia.

In 1984, the condition of the building was described in the viewing card by the National Trust as follows:

'Later brick addition and various fibro etc. skillions at rear...Downstairs interiors completely altered; upstairs appears derelict. Some settling of the front wall parapet. The roof form suggests that the building may originally have been longer, with part of the western side demolished.'

The listing card also notes that A.M.P Society, in Alfred Street, Sydney, owned the building in 1984. Images from the listing card are included at Figure 2.27 and Figure 2.28.

In 1994, the lot contained three two-storey sandstone shops with residences above, and had a slate roof. Extensions to the rear included two one-storey brick-and-fibro shops, a two-storey brick building with an aluminium roof, a brick-and-fibro shed with a galvanised iron roof, and a galvanised iron lean-to.³⁰

A major program of conservation works was implemented at the site in the 1990s, which involved reconstruction of the missing chimney, timber-post supported awning and timber joinery within the building. The property continued to be occupied by retail outlets on the ground floor, with office use on the first floor.

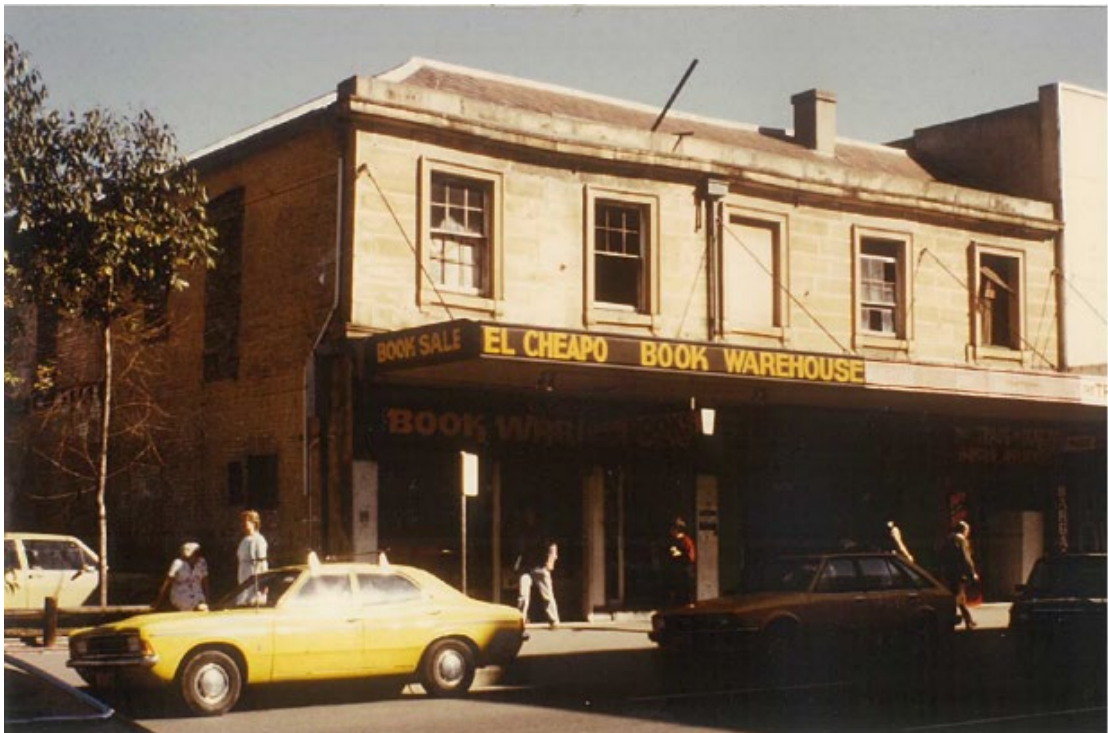


Figure 2.27: George Street Shops c.1984 with cantilevered awning (prior to 1990s reconstruction of the front awning to previous timber post awning) and with east elevation visible from carpark – before No. 49-59 George Street was built. Source: National Trust Listing Card, accessed June 2022.

³⁰ AMC Group, 2003, p.25.

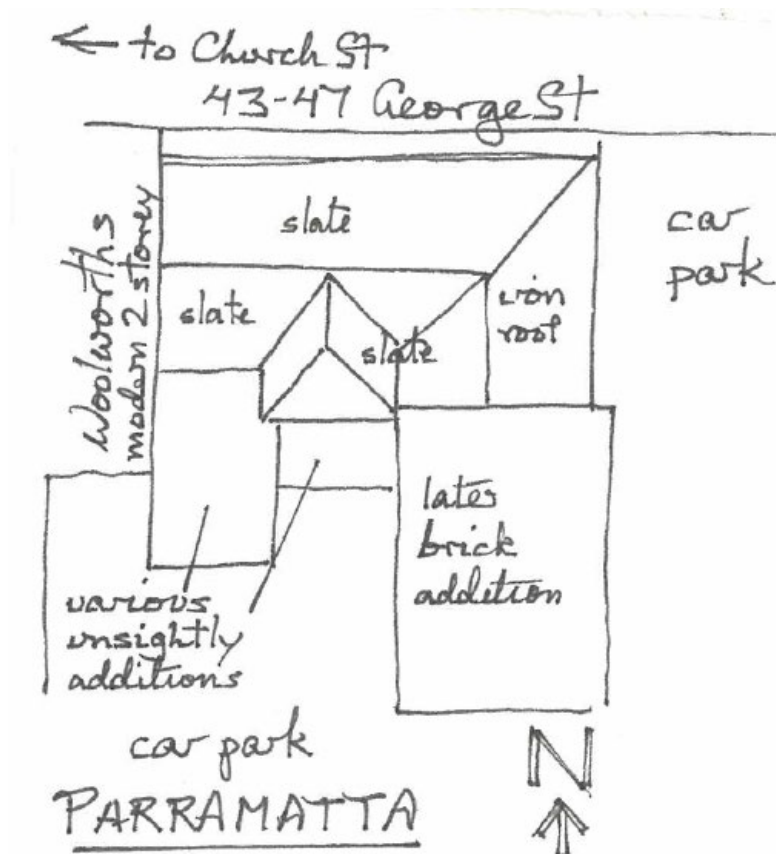


Figure 2.28: Sketch site / roof plan of George Street Shops c.1984, depicting various rear additions and the adjacent car park to east boundary. Source: National Trust Listing Card, accessed June 2022.



Figure 2.29: George Street Shops in October 2020, prior to the acquisition of the site by Sydney Metro. Source: Google Street View.

In 2020, the ground-floor spaces were occupied by an accountant, hairdresser and barber, while the first-floor spaces accommodated a migration adviser and the PTE Institute. The property was vacated following acquisition by Sydney Metro and remains unoccupied.

Works for the Parramatta Metro Precinct are underway under SSI-10038 (Sydney Metro West – Concept and Stage 1), including demolition of buildings formerly adjoining the George Street Shops. This has temporarily altered the setting of the subject site, with the buildings now visible in the round, though access remains restricted.

Demolition in 2022 removed a mid- to late-twentieth-century rear toilet block and a recent rear first-floor balcony. The toilet block was demolished under approved site-clearance works, while the balcony was removed due to structural instability. A site visit by OCP Architects in April 2022 confirmed that the balcony was a modern reconstruction, with delaminated timber posts and simplified detailing. The V-jointed timber soffit appeared to be earlier fabric, suggesting the possibility of an earlier balcony in this location, though the roof structure could not be inspected.

The rear wing behind No. 43, also demolished, was a later brick addition with bag-rendered walls, timber-framed awning windows, modern painted doors and architraves, and contemporary tessellated-style tiles. Rainwater goods included a powder-coated 'D'-profile gutter and painted galvanised downpipe.

Demolition works also revealed that the western wall of the subject site had been partially shared with the former building at 41 George Street. The exposed brickwork appears to be remnant Victorian-period fabric incorporated into the later redevelopment of that site and now forms the western enclosing wall of 43 George Street.



Figure 2.30: Rear elevation prior to demolition of two storey toilet wing (left) and rear balcony (centre). Source: Sydney Metro, June 2022.



Figure 2.31: Detail view of rear balcony prior to demolition. Note non-traditional details and extensive termite damage. The two-storey toilet block addition is partly visible to the left of the image. Source: OCP Architects, 21 April 2022.

The Parramatta Metro Precinct comprises an amalgamation of multiple former land parcels, with a total area of approximately 29,899 square metres. It occupies the block bounded by George Street, Church Street, Smith Street and Macquarie Street, with frontages of 164m to Macquarie Street, 125m to George Street, 48m to Church Street and 15.5m to Smith Street (via Macquarie Lane). The precinct also incorporates the full extent of Horwood Place between Macquarie Street and George Street. Since 2023, extensive demolition and site preparation works have occurred, and by 2026 the precinct is characterised by active construction zones associated with the new station and over-station development.

3.1.3 George Street Streetscape

George Street remains a key commercial spine within the Parramatta CBD, characterised by a diverse mix of building types unified by the major roadway and framed by historic parklands – Parramatta Park to the west and Queen’s Wharf Reserve and Robin Thomas Reserve to the east. The street continues to form an important visual axis with Old Government House and historically served as a principal entry route into the city.

The streetscape retains a mixture of predominantly two-storey nineteenth-century masonry buildings—including shops, hotels and former institutional buildings – interspersed with 1930s civic buildings such as the former Rural Bank (16 George Street), Westpac Bank (264 Church Street) and the Roxy Cinema (69 George Street). Later twentieth-century commercial buildings, generally four storeys and above, remain more common east of Smith Street. Despite ongoing redevelopment across the CBD, the historic subdivision pattern is still legible along much of George Street, contributing to the fine-grain character of the area. Buildings in the vicinity of the subject site continue to be built to the street alignment with active ground-floor frontages.

George Street is relatively level, with a slight fall from east to west. Street planting remains limited near the subject site, although more consistent planting further east helps soften the scale of taller development. Around the George Street Shops, the street retains a broad visual character due to the predominance of low-rise buildings on both sides.

43-47 George Street, Parramatta, occupies a prominent position on the southern side of George Street within the commercial core of Parramatta and make an important contribution to the character of the thoroughfare. The site is located two blocks north of Parramatta Railway Station and east of Church Street (‘Eat Street’), with the Parramatta River two blocks to the north.

Buildings formerly adjoining the George Street Shops were two-storey shopfronts with awnings over the footpath; these were demolished as part of Sydney Metro works. Prior to demolition, the rear and eastern sides of the site had minimal curtilage – approximately 900 mm – facing the blank walls of neighbouring buildings, with an adjoining structure to the west. Following demolition, the east and west elevations of the George Street Shops have remained temporarily exposed, altering the presentation of the building until new development occurs on the adjoining Metro land.

Directly opposite the site are three- and four-storey commercial buildings with ground-floor retail and upper-floor offices, as well as the former theatre now known as the Civic Arcade. Under the Parramatta LEP 2023, the permissible height limit for the subject site remains 151m – 200m.



Figure 3.2: Oblique aerial image of the subject site from George Street in May 2022, prior to the demolition of the surrounding buildings. View looking southwest, showing the scale and form of the street with two storey buildings with awnings at ground floor level, and offices above on first floor level. Source: Nearmap, May 2022.



Figure 3.3: Oblique aerial image of rear view of the subject site in May 2022, prior to the demolition of the surrounding buildings. View looking northwest, showing three and four storey commercial buildings opposite the subject site. Source: Nearmap, May 2022.

3.2 Views and vistas

The Burra Charter (2013) notes that the retention of an appropriate visual setting, including key views and vistas, contributes to the heritage significance of a place. This section identifies the principal views to and from the George Street Shops.

The primary views toward the building remain the east-west views along George Street, which focus on the principal street-facing elevation. These views are best appreciated from the northern pedestrian footpath, where the rhythm and scale of the façade can be clearly understood.

Since the demolition of adjoining buildings for Sydney Metro works, the east and west facades of the George Street Shops are more visually prominent than in their traditional presentation. Historically, these elevations were partially (east) or entirely (west) obscured by neighbouring development and were not intended to form part of the public streetscape. Their current exposure is therefore temporary and reflects the transitional condition of the precinct.

The rear elevation continues to have restricted visibility due to ongoing construction activity across the block extending to Macquarie Street. Prior to demolition works, development in close proximity to the rear of the site similarly prevented meaningful views of this elevation.

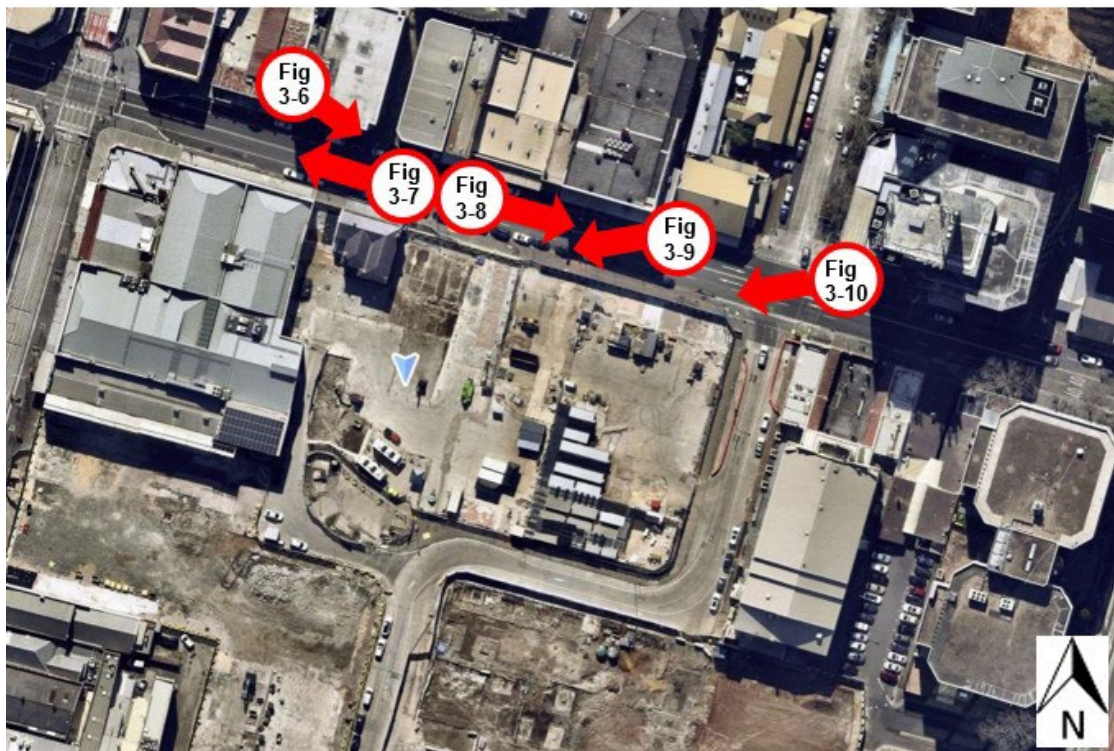


Figure 3.4: Aerial image with numbers and arrows annotated that relate to street views in numbered figures below. Source: Nearmap, September 2022, annotated by OCP Architects.



Figure 3.5: View east along George Street in April 2022, prior to demolition of buildings adjacent to the subject site. Source: OCP Architects, 21 April 2022.



Figure 3.6: View looking southwest from the north side of George Street, after demolition works adjacent to the subject site. Source: OCP Architects, 5 September 2022.



Figure 3.7: View along George Street looking west from the subject site, after demolition works. Source: OCP Architects, 5 September 2022.



Figure 3.8: View of George Street looking east past the subject site, after demolition works. Civic Arcade is at left in the image and the Roxy Cinema is at right. Source: OCP Architects, 5 September 2022.



Figure 3.9: View south west towards the George Street Shops from the north side of George Street, after demolition works. Source: OCP Architects, 5 September 2022.



Figure 3.10: View along George Street looking southeast from north side of George Street at Horwood place intersection, after recent demolition works. The subject site is identified by red arrow. Source: OCP Architects, 5 September 2022.

3.3 Physical description

The George Street Shops comprise three adjoining Victorian Regency-style shop buildings with first-floor accommodation above. Although the place has undergone substantial alteration – particularly during major reconstruction works in the 1990s – the form, scale and key elements still reflect the original nineteenth-century configuration of three separate shops with upper-floor rooms.

3.3.1 Exterior

The principal façade to George Street features a reconstructed ashlar-finished sandstone elevation above a timber-posted awning. Five timber double-hung sash windows with twelve-pane glazing light the first floor, with a simple parapet and stringcourse reinforcing the Regency character. The ground-floor shopfronts are reconstructed timber joinery with large single-pane glazing, fanlights and moulded detailing, though later bulkheads obscure some original proportions. Each shopfront is painted in a different colour.

The side and rear elevations are painted brick in English bond. The stepped rear wall reflects the varying depths of the three shops. Most windows and doors to these elevations are reconstructed timber joinery dating from the 1990s works. Rainwater goods are mixed in age and condition, with several gutters and downpipes deteriorated or replaced in recent years. The single-storey rear addition to No. 43 is a later structure built against remnant brickwork from the former building at 41 George Street.

The main roof comprises a series of cross-hipped slate roofs reconstructed in the 1990s, with temporary galvanised ridge cappings installed in 2022 to address water ingress. Corrugated steel roofing is present over the street awning and the rear skillion addition. Two rendered brick chimneys remain visible from George Street.

3.3.2 Interior

The interiors of the George Street Shops have been altered extensively over time due to changing uses, past damage and major reconstruction works in the 1990s. Although much original fabric has been replaced, the internal layout still reflects the traditional arrangement of three separate ground-floor shops with rooms above.

The first floor is accessed by a single stair and now comprises interconnected rooms aligned with the ground-floor party walls. Most interior elements – doors, windows, skirtings, mantels, ceilings and cornices – are reconstructed timber and plasterwork from the 1990s conservation program. Three fireplaces survive with rendered chimney breasts and reconstructed mantels. Lightweight partitions form a small hallway west of the stair, and later arched openings have been introduced. Two small kitchenettes with contemporary fittings are located in the central space of No. 45 and at the rear of No. 47. Services such as air-conditioning grilles and risers are integrated throughout. Water ingress has caused deterioration to ceilings, carpets and window sills.

The ground-floor shops retain the traditional layout of a front retail space with a smaller rear room. Intertenancy walls are masonry, while several internal partitions—particularly around the stair and rear storage areas—are later lightweight additions. Replacement tongue-and-groove timber floors, reconstructed shopfront joinery and a mix of plasterboard and suspended ceilings reflect late-twentieth-century refurbishment. Rear doors and windows are reconstructed, with variations at No. 43 corresponding to the later rear addition. Damp and water ingress have caused significant

deterioration, particularly in No. 43, where mould, damaged ceilings and rising damp are evident. Subfloor ventilation appears inadequate and warrants further investigation.

The stair between Nos. 45 and 47 is likely in its original location, although the current opening and surrounding partitions are later alterations. It comprises two straight flights with modern finishes including tessellated tiles, carpeted treads and anti-slip nosings. A simple circular timber handrail and modern skirtings line the stair enclosure. Water damage is visible at the first-floor landing and requires maintenance.

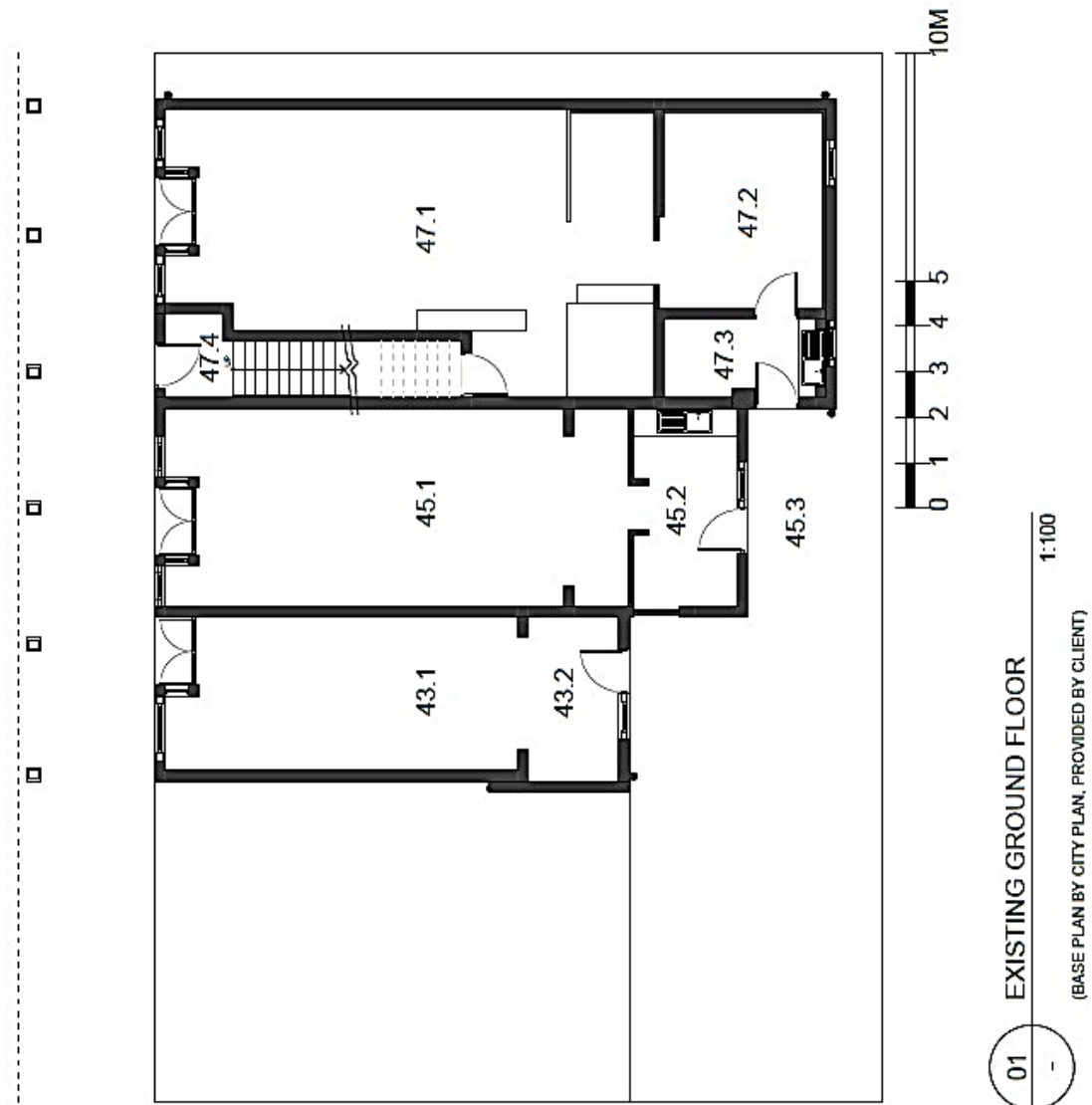


Figure 3.11: Existing ground floor plan of George Street Shops. Source: City Plan via Sydney Metro, April 2022. Room numbering by OCP Architects.

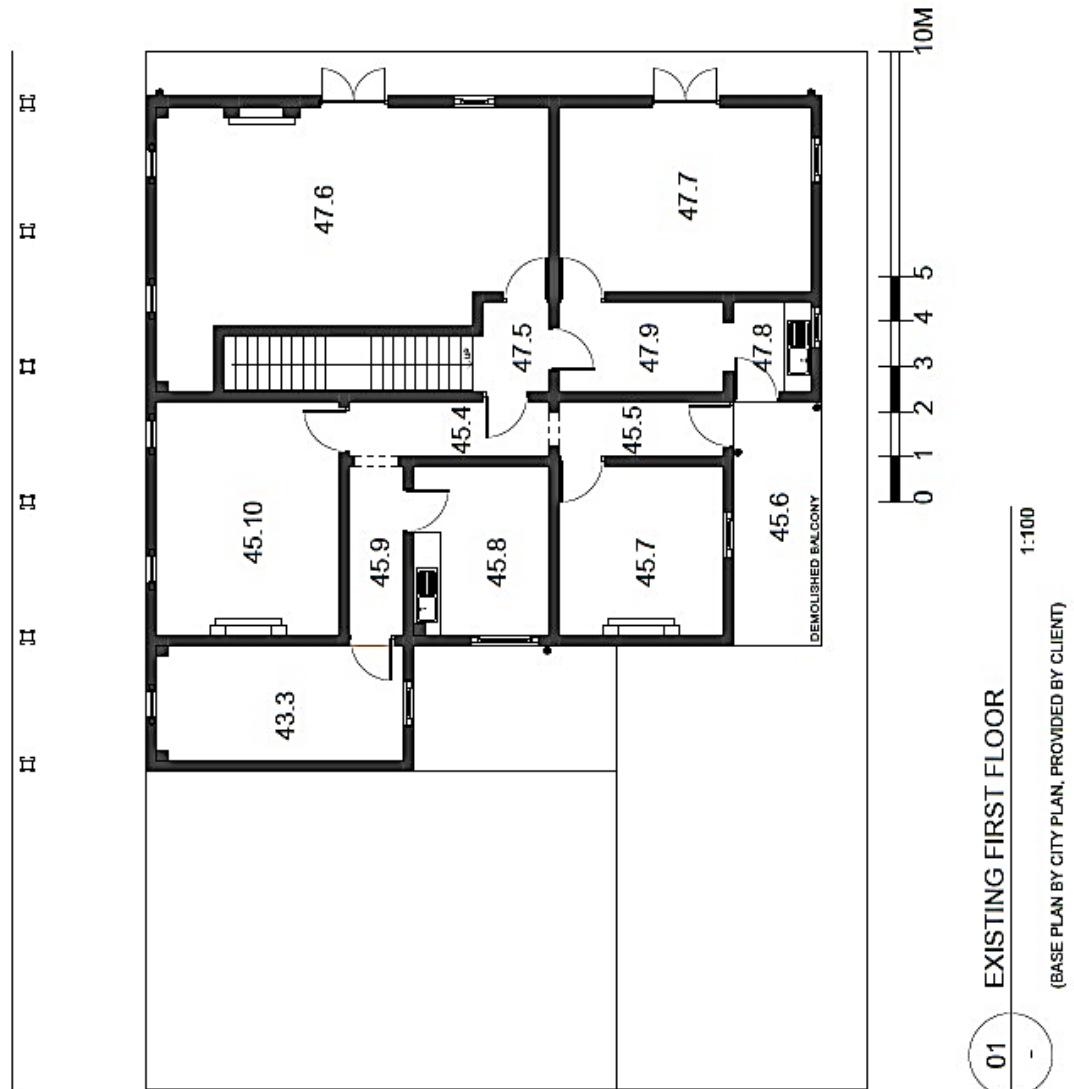


Figure 3.12: Existing first floor plan of George Street Shops. Source: City Plan via Sydney Metro, April 2022. Room numbering by OCP Architects.

3.4 Photographs (April 2026)



Figure 3.13: North façade of the George Street Shops and the post-supported timber awning. Source: OCP Architects, April 2026.



Figure 3.14: East façade of the George Street Shops and the post-supported timber awning. Source: OCP Architects, April 2026.



Figure 3.15: South façade of the George Street Shops. Source: OCP Architects, April 2026.



Figure 3.16: West façade of the George Street Shops and the post-supported timber awning. Source: OCP Architects, April 2026.

4 SIGNIFICANCE ASSESSMENT

4.1 Summary Statement of Significance

The following statement of significance was sourced from the Conservation Management Plan for 43-47 George Street, Parramatta (George Street Shops), prepared for Sydney Metro by OCP Architects in July 2023 (Version D).

The George Street Shops at 43-47 George Street, Parramatta, are of State significance in terms of their historical, rarity and representativeness values; and of local significance in terms of their aesthetic and technical values. Sited on the major historic thoroughfare of George Street within the planned city grid alongside the Parramatta River and part of the first major development cycle in the nineteenth century, the place directly contributes to the cultural significance of Parramatta as the first planned town landscape among Australian cities, subject only to two major development cycles over two centuries of its history.

The site of the George Street Shops is significant for its ability to provide material evidence of European settlement, including land tenure, subdivision, urban planning and land use in pre-1850s Parramatta. It is significant for its association with late eighteenth century convict huts; with the historical realignment of George Street; and for its connection with the early growth of Parramatta as a major regional centre, which in itself is recognised for its high contribution to NSW's cultural heritage. These latter associations are embodied in the construction of the building in the 1840s, which occurred at a time when the focus of land use was evolving to commercial activity rather than the agricultural premise on which Parramatta was founded. The building demonstrates continuity of historical use as commercial premises from its construction until recently, a period exceeding 170 years.

The George Street Shops constitute an archetypal example of a nineteenth century commercial tenement consisting of shopfronts at ground floor level with (former) residences above – built in the early Victorian Regency style. It is a rare example of the style within this context, the only surviving example of its type and style in Parramatta and one of only a limited number of like surviving examples located in the vicinity of the first settlement at Sydney. While the building has been affected by alterations and additions, sufficient evidence remains to demonstrate the typology in accordance with the original design intent, which in conjunction with conservation works implemented in the 1990s provides evidence of the traditional character of the building. The building remains as a good example of a Victorian Regency commercial development.

As one of the few surviving examples of its kind, the George Street Shops serve as an important physical reminder of the nineteenth century streetscape character of George Street, Parramatta's original High Street. Aesthetically, it is comprised of clearly defined rectangular forms arranged symmetrically with sparing detail including shallow projecting stone window surrounds, string line and parapeted roof which characterise the style in conjunction with the shopfront joinery and ground floor post-supported awning with shaped timber joinery. As the original and early planning layout is relatively intact, it provides a resource for understanding spatial planning and room layout in a nineteenth century residential and commercial tenement.

The George Street Shops constitute a potential resource for investigation and public interpretation through archaeological investigation. Future archaeological investigations within the footprint of the building have the potential to yield new or further scientific and / or archaeological information associated with the building as an important benchmark of its type and aspects of commercial activity in the nineteenth century Parramatta. The value of the potential archaeological resource would likely be enhanced by broader archaeological investigation of immediately surrounding sites considering the nature of changes that have occurred across the site over time, not least being the narrowing and realignment of George Street.

5 PROPOSED WORKS

5.1 Background

OCP Architects have been engaged by Gamuda Laing O’Rourke Consortium (GLC) to identify and assess any potential heritage impacts associated with proposed repair works to external building fabric to 43-47 George Street, Parramatta NSW 2150, a group of three terraced Victorian Regency buildings, collectively also known as the ‘George Street Shops,’ located within the broader Parramatta Metro Precinct. The purpose of the proposed works is to improve the condition of the buildings externally and to ensure they are protected against water ingress, fire and vandalism. In summary, the works include the renewal of deteriorated slate roofing and leadwork, replacement of damaged rainwater goods and downpipes, repairs to chimneys, brickwork and sandstone elements, reinstatement of traditional detailing, improvements to subfloor ventilation and site drainage, and seismic stabilisation works.

OCP Architects have a longstanding involvement with 43-47 George Street, Parramatta, including undertaking extensive conservation works to the buildings in the 1990s. These works involved the reconstruction of the post-supported timber awning, missing chimney, shopfronts and timber joinery, and the removal of intrusive later rear additions. Prior to these works, much of the original significant fabric – including the original awning, shopfronts and various internal and external elements – had been removed. OCP Architects also prepared the current Conservation Management Plan for the site in 2023.

OCP Architects have recently prepared a brief Statement of Heritage Impact letter (dated 21 April 2026) for Gamuda Laing O’Rourke Consortium (GLC) in support of the installation of temporary freestanding scaffolding around all façades of the buildings. The enabling-works SOHI letter was prepared to facilitate safe access to the façades and roofs ahead of the proposed external repair works. The scaffolding methodology follows the previously approved freestanding system used during the 2023 roof repair works at 45 George Street, undertaken following the unauthorised removal of the lead ridge capping. As with the 2023 works, the scaffolding will remain entirely freestanding, with no fixings into the heritage fabric.

This Statement of Heritage Impact addresses the proposed external repair works and is to be read in conjunction with the relevant full suite of documentation relating to same. The Architectural Drawings, Schedule of Works and Specification prepared by OCP Architects in May 2026 collectively inform the current proposal and are included as appendices to this report. Refer to Appendices B, C and D.

The overarching objective of the proposed works is to stabilise and conserve the external building fabric of 43-47 George Street, Parramatta, to ensure the long-term preservation, weather-tightness and structural integrity of the buildings, while minimising heritage impacts and retaining significant fabric as much as possible.

5.2 Proposed Works

The proposed works address accumulated deterioration, previous unsympathetic alterations and the need to improve the building's long-term performance while retaining its significant early fabric. The approach prioritises repair over replacement, the reinstatement of traditional detailing and the use of compatible materials throughout. The works have been consolidated into a coordinated program that responds to the building's condition and supports its ongoing conservation.

Preliminary Works

- Light-pressure cleaning of all external facades to remove grime, biological growth and black spore fungus.
- Biological treatment of vegetation in brick joints, with removal once dead.
- Removal of redundant services, intrusive lights, cabling and signage, with all fixing points made good in matching materials.
- Removal of posters and ad-hoc attachments from timber, brick and stone surfaces.
- Scaffold-based inspections to confirm condition of chimneys, eaves, roof timbers and wall vents.
- Asbestos checks prior to commencement.
- Pits to be dug by hand to investigate building footings prior to construction.

Structural Works

- Seismic stabilisation of chimneys, roof structure and the east and west external walls.
- Installation of tie-backs where walls lack adequate restraint.
- Replacement of deteriorated or missing lintels with stainless steel, with surrounding brickwork to be repaired.
- Seismic stabilisation works will be undertaken in accordance with the typical structural details prepared by Shreeji Consultant (refer to Appendix A), which outline discreet and reversible strengthening measures appropriate for a heritage building of this type.
- All structural works subject to Hold Points and review.

Roofs

- Removal of deteriorated slates and salvage of sound slates for reuse.
- Re-slating of main roofs with new Penrhyn Welsh slates, installed with stainless steel clips and traditional lead flashings.
- Localised slate repairs where full replacement is not required.
- Inspection and repair of roof timbers once slates are removed.
- Installation of new lead valleys, box gutters and associated flashings.
- Replacement of synthetic hip and ridge coverings with traditional hardwood core rolls clad in lead.
- Installation of new vapour barrier adjacent to ridges where slates have been taken up.
- Replacement of corroded corrugated steel sheeting to verandah and rear skillion roofs.

- Inspection and repair of roof timbers once corrugated metal roof sheets are removed.
- Installation of a new copper roof hatch and new stainless steel roof safety anchors.

Rainwater Goods

- Renewal of gutters, downpipes and rainwater heads in copper, with cast iron lower sections where appropriate.
- Installation of new copper ogee eaves gutters on copper brackets with matching over-straps.
- Replacement or reinstatement of rainwater heads to match original profiles, including custom fabrication where required.
- Removal of redundant downpipes and repair of associated fabric.
- Installation of new underground stormwater outlets beneath the footpath.
- Reconstruction of lead-lined box gutters with expansion joints and new overflows to the north parapet.

Leadwork

- New lead caps to chimneys 1 and 2, and repair and replication of the chimney 3 cap.
- New two-piece lead flashings to all chimneys and roof penetrations.
- Installation of lead ridges, hips, valleys and weatherings in traditional profiles.
- Lead capping to the north parapet wall and lead weatherings to the cornice, stringcourse and sandstone window sills and architrave heads.

Copperwork

- Replacement of copper eaves gutters, downpipes and rainwater heads where deteriorated.
- Installation of copper mesh over new middle gutter sump.
- Installation of a new copper roof hatch.
- All copperwork to be painted in accordance with the approved paint system.

Stonework

- Desalination and cleaning of sandstone to remove biological growth and accumulated grime.
- Replacement or indenting of damaged stones, including parapet and cornice stones.
- Repointing of sandstone using compatible lime mortars, with full repointing to parapet, cornice and stringcourse.
- Removal of plywood cladding and inappropriate repairs to sandstone piers.
- Repair of damaged plinth stones using hydraulic lime.
- Removal of paint from sandstone elements using approved methods.
- Removal of spiked bird proofing.
- Installation of lead weatherings to sills, architraves and stringcourse.

Brickwork

- Removal of flaking paint and inappropriate coatings from brickwork.

- Repointing and replacement of damaged bricks, including areas affected by previous services.
- Reconstruction of damaged sections of the west gable wall and removal of embedded rusted steel beams.
- Removal of ceramic tiles and render from the west gable wall, followed by new lime render and repainting.
- Repair of brickwork to the south-east wall, including removal of intrusive fixings.
- Removal of the brick enclosure housing the electrical box and relocation of the box to a more suitable location.
- Significant upgrade of subfloor ventilation with new cast iron vents and new angled openings to walls, along with internal openings to improve cross-ventilation.

Metalwork

- Installation of new stainless steel lintels to openings where existing lintels are deteriorated or missing.
- Installation of new cast iron wall vents to match existing patterns, painted in accordance with the approved system.
- Installation of brass security mesh to exteriors of selected windows.

Timber Windows and Doors

- Cleaning, adjustment and repair of all timber windows and doors.
- Replacement of glazing putty where deteriorated.
- Sealing of gaps between frames and brick reveals.
- Removal of paint to sound base and repainting in the approved colour scheme.
- Removal of signage, stickers and boarding from windows and doors.
- Cleaning and repair of slate sills.
- Installation of door bottom seals to selected doors.
- Temporary locking of doors no longer in use, pending future works.
- Removal of timber boarding to exterior of selected door followed by inspection and repair or replacement of affected door.

Timberwork

- Repair and partial replacement of timber eaves, soffits and scotia in hardwood to match existing profiles.
- Cleaning and repainting of verandah elements, with removal of signage and intrusive lighting.
- Replacement of deteriorated decorative timber elements, including plinth mouldings, neck mouldings and parapet capping.
- Repairs to verandah soffit and skillion ends, with removal of signage and redundant lighting.

Paint Systems

- Repainting of all external timber, metal, masonry and rendered surfaces using appropriate paint systems.
- Removal of peeling paint to sound base and repair of cracks and defects prior to repainting.
- All colours to follow the approved colour scheme, with samples provided for approval prior to commencement.

External Groundworks, Hydraulic and Drainage

- Removal of damaged Bowral brick paving to the south, with salvage of sound bricks for reuse.
- Installation of new Bowral brick paving in herringbone bond with soldier bond border to the south and salvaged Bowral brick paving in stretcher bond with soldier bond border to the east, graded to fall towards new brick dish drains.
- Allow to install new retaining walls and kerbs by Sydney Metro along the east and south boundaries.
- Installation of new ag (agricultural) lines with silt arrestor pits around the east and south elevations, with a permeable zone above and paving formed to slope away from the building.
- Installation of underfloor vents to the 4 façades of the building group and through the base of internal walls.

Overall, the works aim to stabilise the building, address long-term deterioration, reinstate traditional detailing and improve performance while retaining the significant early fabric. The proposed interventions are intended to be sympathetic, durable and consistent with the heritage character of the place, ensuring its continued use and conservation into the future.

Furthermore, these works are designed to be high-quality and adaptable to ensure that they do not preclude future uses or require the removal of, or further changes to, the new fabric during subsequent adaptations of the site.

6 ASSESSMENT OF HERITAGE IMPACT

6.1 Matters for Consideration

As noted earlier in this SOHI, the subject of this Statement of Heritage Impact comprises the group of three terraced Victorian Regency buildings known as the ‘George Street Shops,’ located at 43-47 George Street, Parramatta NSW 2150, within the City of Parramatta Local Government Area. The buildings form part of the larger site at 41-59 George Street, which is listed as a local heritage item (‘Shops and potential archaeological site’) under Schedule 5 of the Parramatta Local Environmental Plan 2023 (PLEP 2023).

The subject site is not located within a Heritage Conservation Area (HCA) as defined under Schedule 5 of the PLEP 2023. There are no HCAs in the immediate vicinity of the site. The proposed external repair works will therefore not affect the significance, setting or integrity of any Heritage Conservation Area.

There are numerous other heritage items of State and local heritage significance within the vicinity of 43-47 George Street, Parramatta, including the State-heritage-listed ‘Roxy Cinema,’ ‘Redcoats Mess House’ and the ‘Shop and office’ at 88-92 George Street, as well as locally-listed items such as the ‘Convict drain,’ ‘Kia Ora and potential archaeological site,’ ‘Horse parapet façade and potential archaeological site,’ ‘Former court house wall and sandstone cellblock and potential archaeological site,’ ‘Westpac Bank,’ ‘Civic Arcade (former theatre) and potential archaeological site,’ and ‘Dr Pringle’s Cottage.’ The proposed works are modest in scale, limited to the external fabric of the George Street Shops, and will not adversely impact the significance, setting or interpretation of these nearby heritage items.

While the project is assessed under the State Significant Infrastructure (SSI) provisions, the proposed works have nonetheless been designed to align with the heritage objectives of the Parramatta Development Control Plan 2023 (PDCP 2023). The proposed interventions remain consistent with the PDCP’s guidance regarding the conservation of significant fabric, the retention of original building form, and the sensitive repair of heritage buildings to support their ongoing stability and preservation.

6.1.1 General Discussion of Heritage Impacts

The proposed external repair works to 43-47 George Street, Parramatta, represent a positive heritage outcome for the buildings. The works address long-standing issues of deterioration, water ingress and structural vulnerability, thereby supporting the ongoing preservation and stability of the heritage fabric. Ensuring that the buildings are weather-tight, structurally sound and protected from further deterioration is fundamental to their long-term conservation and is consistent with the principles of *The Burra Charter* (2013), which emphasises maintenance, repair and the retention of significant fabric.

The proposed works are conservative in approach, largely reversible, and concentrated on areas where deterioration is evident. Significant elements – such as the principal façades, original brickwork, sandstone detailing and traditional roof form – are retained, with repairs to be undertaken on a like-for-like basis. No original or early internal walls are affected, and the overall form, scale and presentation of the buildings remain unchanged.

Furthermore, the proposed works are designed to be high-quality and adaptable to ensure that they do not preclude future uses or require the removal of, or further changes to, the new fabric during subsequent adaptations of the site.

The assessment undertaken for this report concludes that the proposed works will have no adverse impact on the heritage significance of the George Street Shops. Instead, they will enhance the buildings' long-term viability, improve their resilience to environmental impacts, and support their continued conservation as important early commercial buildings within the historic George Street corridor.

6.1.2 Fabric and Spatial Arrangements

The proposed works do not alter the internal spatial arrangement of the buildings. All works are confined to the external envelope and do not involve demolition of original or early internal fabric. Repairs to slate roofing, leadwork, chimneys, brickwork and sandstone elements are undertaken on a like-for-like basis, ensuring that significant material is retained wherever possible.

Seismic stabilisation works are designed to be discreet and reversible, involving minimal intervention to original fabric. These works are necessary to address structural vulnerabilities and are consistent with accepted conservation practice for heritage buildings of this age and construction type. Impacts to original fabric are therefore minimal and acceptable.

The majority of the proposed works affect external building fabric only. Internal interventions are limited in scope and support the building's functional requirements. These include the relocation of plywood sheeting from the exterior to the interior face of a single door to improve security, and the temporary lifting and reinstatement of ground-floor floorboards to facilitate the installation of external vents. These internal works are considered minor, as they are localised, largely reversible, and necessary to support the broader conservation and performance of the building.

6.1.3 Setting, Views and Vistas

The proposed works will not result in any substantive change to the setting, views or vistas of 43-47 George Street, Parramatta. The buildings will continue to present as a cohesive group of Victorian Regency terraces within the historic George Street streetscape. All works are repair-based, with no change to the buildings' form, height, massing or external appearance.

6.1.4 Landscape Works

Minor ground works are proposed as part of the current scope, primarily associated with improvements to site drainage, subfloor ventilation, and the extension of site paving. These works include localised excavation to reinstate or redirect surface water flows, the installation of new drainage elements, and minor adjustments to ground levels immediately adjacent to the buildings to prevent water ingress.

The paving works include the extension of Bowral brick paving to the south of the building in a herringbone pattern with a soldier bond border, and the installation of salvaged Bowral brick in a stretcher bond pattern to the east. These interventions are designed to be high-quality and adaptable to ensure they do not preclude future uses or require the removal of, or further changes to, the new fabric during subsequent adaptations.

All works are small in scale and confined to areas of previously disturbed ground. The proposed ground, drainage, and paving works are functional in nature and will not alter the broader setting of the George Street Shops or their presentation to the public domain. The works are consistent with the existing urban character of the site and are necessary to ensure the long-term stability and weather-tightness of the buildings. Impacts to the landscape setting are therefore minimal and acceptable.

6.1.5 Use

The proposed works do not involve a change of use. 43-47 George Street, Parramatta, is currently unoccupied, and the works are intended to stabilise and conserve the external building fabric to support the site's future use. Ensuring that the buildings are structurally sound, weather-tight and protected from further deterioration is essential to enabling their future occupation and long-term viability.

The works therefore represent a positive heritage outcome, as they support the ongoing conservation of 43-47 George Street, Parramatta, and facilitate its potential reuse in a manner consistent with its heritage significance.

6.1.6 Demolition

The proposed works involve only minor, localised removal of deteriorated or damaged fabric, including decayed roof elements, failed leadwork, damaged rainwater goods, unstable brickwork and limited ground disturbance associated with drainage improvements. These elements are of low or compromised significance due to their condition or later introduction. Their removal and replacement on a like-for-like basis is considered to have a positive heritage impact. No significant or intact original fabric at 43-47 George Street, Parramatta, is proposed to be demolished.

6.1.7 Curtilage

The proposed works do not alter the curtilage of 43-47 George Street, Parramatta, or its relationship to the broader 41-59 George Street heritage item. The buildings will continue to sit within their established urban setting, and their contribution to the historic George Street streetscape will remain unchanged.

The minor ground and drainage works proposed are confined to areas immediately adjacent to the buildings and will not affect the overall curtilage or interpretation of the site.

6.1.8 Moveable Heritage

No identified moveable heritage will be affected by the proposed works. All fabric at 43-47 George Street, Parramatta, is to be treated with care during the works, and only tradespeople with experience working on heritage items will be permitted to undertake the works.

6.1.9 Aboriginal Cultural Heritage

The proposed works are confined to the existing building envelope and areas of previously disturbed ground. While minor excavation is required for drainage improvements, these works are not expected to impact Aboriginal cultural heritage values.

6.1.10 Historic Archaeology

The proposed works are primarily limited to the external building fabric, with minor ground disturbance associated with drainage, subfloor ventilation, and paving improvements. This includes the installation of new Bowral brick paving to the south of the buildings and salvaged Bowral brick paving to the east. Existing drainage channels will be reused.

Although 43-47 George Street, Parramatta, forms part of a site identified as having potential archaeological significance, the works are not considered likely to have an adverse archaeological impact due to their limited depth and extent, being confined to areas of previously disturbed ground.

All ground-disturbing activities will be managed in accordance with the *Archaeological Research Design and Excavation Methodology* report prepared by GML Heritage (November 2021).

To ensure ongoing compliance, the advice of the Excavation Director (approved under Condition D27) will be sought and implemented prior to and during any works involving excavation. This ensures that the proposed interventions do not preclude future archaeological investigation and align with the established research framework for the Sydney Metro West Parramatta Station construction site.

6.1.11 Natural Heritage

The site has no identified natural heritage values. The proposed works will not affect any significant vegetation or natural features within or surrounding 43-47 George Street, Parramatta.

6.1.12 Conservation Areas

43-47 George Street, Parramatta, is not located within a Heritage Conservation Area (HCA). There are no HCAs in the immediate vicinity. The proposed works will not impact the significance of any nearby HCAs.

6.1.13 Cumulative Impacts

The proposed works will not contribute to the cumulative degradation of 43-47 George Street, Parramatta, or its setting. Rather, the works represent a positive step in the ongoing conservation of the buildings by addressing deterioration, improving structural stability, and upgrading drainage to prevent moisture-related damage.

Consideration has been given to the previous scope of works at the site, which primarily involved the remediation and removal of hazardous materials, including asbestos sheeting, from the interior of the buildings. When viewed in conjunction with these essential earlier works, the current scope represents a logical progression towards the building's conservation.

The combined impact of the previous remediation works and the currently proposed repairs remains consistent with the heritage outcomes anticipated in the Sydney Metro West Environmental Impact Statement (EIS). The current proposal does not result in a greater heritage impact than that previously assessed in the EIS; instead, it reinforces the long-term preservation of the significant fabric through high-quality, adaptable interventions that do not preclude future uses or require subsequent removal.

6.1.14 The Conservation Management Plan

A Conservation Management Plan (CMP) for 43-47 George Street, Parramatta, was prepared by OCP Architects in 2023. The proposed works are consistent with the CMP's conservation policies, which support the retention of significant fabric, the repair of deteriorated elements, the improvement of site drainage, and the sensitive stabilisation of the buildings to ensure their long-term preservation.

The works align with the CMP's emphasis on minimal intervention, like-for-like repair and the retention of the buildings' historic character and presentation to George Street.

6.1.15 Other Heritage Items in the Vicinity

There are numerous other heritage items of State and local heritage significance within the vicinity of 43-47 George Street, Parramatta, including the Roxy Cinema, Redcoats Mess House and various archaeological sites. The proposed works are modest in scale and will not adversely affect the significance, setting or interpretation of any nearby heritage items.

6.1.16 Commonwealth/ National Heritage Significance

The site is not listed on the Commonwealth Heritage List or National Heritage List.

6.1.17 World Heritage significance

The site is not listed on the World Heritage List.

7 CONCLUSION AND RECOMMENDATIONS

7.1 Conclusion

The following conclusions are made to ensure that the cultural significance of 43-47 George Street, Parramatta is appropriately managed while enabling essential conservation works that will support the long-term stability and preservation of the buildings.

This Statement of Heritage Impact has examined the proposed external repair works to the group of three Victorian Regency terraces located at 43-47 George Street, Parramatta, within the jurisdiction of the City of Parramatta Council. The buildings form part of the larger heritage item at 41-59 George Street, listed as a local heritage item ('Shops and potential archaeological site') under Schedule 5 of the Parramatta Local Environmental Plan 2023 (PLEP 2023). As such, the site's statutory heritage status, physical characteristics, historical development and conservation policy framework have informed the assessment of heritage impacts.

The proposed works comprise essential repairs to deteriorated external fabric, including renewal of slate roofing and leadwork, replacement of damaged rainwater goods and downpipes, repairs to chimneys, brickwork and sandstone elements, reinstatement of traditional detailing, improvements to subfloor ventilation and site drainage, and seismic stabilisation works. These works are necessary to address ongoing deterioration, prevent water ingress and structural failure, and to ensure the long-term conservation of the buildings.

Ongoing use and maintenance are widely recognised as fundamental to the conservation of heritage places. Although 43-47 George Street, Parramatta, is currently unoccupied, the proposed works will significantly improve the buildings' condition and readiness for future adaptive reuse. Ensuring that the buildings are structurally sound, weather-tight and protected from further deterioration is essential to their continued viability and potential future occupation.

This report has assessed the proposed works in terms of their heritage impact, alignment with conservation principles, and consistency with the relevant statutory and non-statutory heritage frameworks. The assessment concludes that the proposed works achieve an appropriate balance between conservation and necessary intervention. The works are minor, largely reversible, and sympathetic to the significant fabric of the buildings. They retain the original form, detailing and presentation of the terraces to George Street, while addressing critical conservation requirements.

The proposed works are considered positive in enhancing the long-term preservation of 43-47 George Street, Parramatta. They are consistent with the requirements of the *Heritage Act 1977* and align with best-practice heritage guidelines, including *The Burra Charter* (2013), which emphasises minimal intervention, retention of significant fabric and the importance of ongoing care and maintenance.

It is anticipated that additional conservation or adaptive reuse works may be required in the future to address internal fabric or functional requirements. Such works fall outside the scope of the present external repair works proposal and will be subject to separate design development and heritage assessment.

7.2 Recommendations and Mitigation Measures

This Statement of Heritage Impact (SOHI) has described and reviewed the proposal to 43-47 George Street, Parramatta, and has discussed the heritage impact of the proposed works on the site. The assessment contained within this report has found that the proposal will have a positive impact on the heritage significance of the site.

The following recommendations and mitigation measures are provided to ensure that the proposed repair works to the external building fabric of 43-47 George Street, Parramatta, are undertaken in a manner that protects and conserves the heritage significance of the place, and to minimise any potential adverse impacts that may arise during the course of the works.

- Work is to be undertaken with the objective of leaving intact as much original and early fabric as practically possible.
- Permanent removal of heritage fabric that is not specified above (including but not limited to moveable heritage items, original glazing, windows, roof/gutter lead flashings, signage and any interior fabric) is not permitted. If the removal of any heritage fabric is required, seek advice from the Heritage Architect.
- Ensure that all significant building fabric is treated with care during the works. If required, cover significant building fabric for protection in areas where works are proposed. Moveable heritage items may require temporary relocation; however, these items must be returned to their original locations after the completion of the works.
- No construction materials are to be stockpiled or stored against heritage items or trees.
- Any accidental damage caused to heritage items or fabric must be reported immediately to the Project Manager and Heritage Architect. Damage is to be made good in accordance with specialist heritage advice.
- Where earlier details or concealed fabric are exposed during building works, notify the Heritage Architect, who may advise that original fabric or features are to be retained or reinstated.
- All areas affected by the works must be cleaned and made good after the completion of the works, including the removal of site debris, cleaning of all affected surfaces, and painting to match existing surrounds.
- This Statement of Heritage Impact is to be read in conjunction with the full suite of documentation relating to the proposed external repair works to 43-47 George Street, Parramatta – including this SOHI, the Architectural Drawings, Schedule of Works and Specification prepared by OCP Architects in May 2026. All instructions within these documents are to be followed and all identified Hold Points are to be observed.
- All contractors and subcontractors involved in the construction works should be briefed on the heritage significance of the building prior to work commencing through a site-specific heritage induction.
- All work involving heritage fabric should be supervised by the nominated Heritage Architect and carried out by tradespeople (contractors and subcontractors) with extensive experience working on heritage structures.
- Chimney repairs should retain original brickwork and detailing, with replacement bricks matching the original in size, colour, texture and bond pattern.
- Sandstone repairs should be undertaken by a specialist stonemason, using compatible stone and lime-based mortars to avoid long-term damage to original fabric.

- All new rainwater goods, downpipes and associated metalwork should match the original profiles and materials, unless otherwise required for durability, in which case sympathetic alternatives should be used.
- Drainage and subfloor ventilation improvements should be designed to avoid unnecessary excavation, and all ground disturbance should be limited to the minimum required to achieve functional outcomes.
- Any excavation associated with drainage works should be monitored, given the site's identification as a potential archaeological area. Should unexpected archaeological material be encountered, works should cease and appropriate archaeological advice should be sought.
- Given that the site is recorded as a potential archaeological site, all ground-disturbing exterior works must be monitored by a qualified archaeologist engaged by the project team, rather than by the contractor. This work must be conducted in accordance with the *Sydney Metro West Parramatta Station Construction Site Archaeological Research Design and Excavation Methodology* (GML Heritage Pty Ltd, 2021). To satisfy the requirements of Conditions D16 and D27 of the Infrastructure Approval (SSI 10038), protective measures have been designed to avoid impacts to significant historical archaeology, and the advice of the approved Excavation Director must be sought and implemented to ensure all works align with the established archaeological framework.
- Pits required to investigate building footings are to be dug carefully by hand.
- All new hydraulic works must be designed and installed to minimise physical intervention, avoid loss of original material, and remain visually recessive.
- Ideally, new agricultural drainage lines should be installed around all perimeters of the buildings (noting that they are currently proposed only on the east and south sides). As this may result in differential drying rates, it is recommended that the buildings be monitored and inspected by a suitably qualified professional every five years.
- The Architectural Drawings should be reviewed by the Hydraulic Engineer prior to the construction stage.
- Seismic stabilisation works should be undertaken in accordance with the structural details prepared by Shreeji Consultant (Appendix A), ensuring that interventions are discreet, reversible where feasible, and minimise disturbance to significant fabric.
- The temporary freestanding scaffolding required to allow access to the façades and roofs of the buildings should be installed in accordance with the methodology outlined in the enabling-works SOHI (21 April 2026), ensuring that no fixings penetrate or damage heritage fabric.
- All works should be carried out in accordance with the Conservation Management Plan (CMP) for 43-47 George Street, Parramatta (OCP Architects, 2023), and in accordance with the conservation policies and guidance contained therein.
- All repair works should follow the principles of *The Burra Charter* (2013), including minimal intervention, retention of significant fabric, and like-for-like repair using traditional materials and techniques wherever feasible.
- Additional consultants should be engaged as required, including a hydraulic engineer and any other specialists necessary to support the detailed design and construction phases.
- Any proposed changes beyond the approved scope of works may require further assessment and approval.

- The current documentation may need to be further developed for tender (i.e. the current documentation is generally suitable for the submission of a development application, but not for tender or construction).
- A cyclical maintenance plan should be prepared following the completion of the works, outlining ongoing inspection and maintenance requirements for roofing, drainage, masonry, and timber elements to prevent future deterioration. This plan is to be incorporated into the current project scope to ensure that it is produced by the project team, while they are still involved and the specific site interventions remain current, providing a more accurate and site-specific record than if prepared by an external party at a later date.
- Future adaptation should operate within the existing layout, with only minor modifications, ensuring the preservation of the substantial amount of surviving original and early fabric.
- It is recommended that appropriate fire protection measures are implemented, as in the case of nearby Kia Ora, as vacant sites are particularly susceptible to fire and vandalism.
- Copper is the preferred material specified in various instances in the scope of proposed works. As the theft of copper is a potential concern, it is allowable to paint copper to disguise its presence (an approach that has been adopted by entities such as the City of Sydney and the University of Sydney).

By adhering to the recommendations outlined above, the proposed external repair works will not have any adverse impacts on the heritage significance of 43-47 George Street, Parramatta, or on any nearby heritage items or conservation areas.

The proposed restoration works will not exceed the Standard Exemptions under the *Heritage Act 1977* and, as such, a Section 60 application will not be required.

The proposed works are broadly consistent with the heritage provisions of the relevant statutory planning instruments and are considered to be acceptable in heritage terms.

APPENDIX A

TYPICAL STRUCTURAL DETAIL DRAWINGS, PREPARED BY SHREEJI CONSULTANT (HERITAGE STRUCTURAL ENGINEER), APRIL 2026.

APPENDIX B

ARCHITECTURAL DRAWINGS, PREPARED BY OCP ARCHITECTS, MAY 2026.

APPENDIX C

SCHEDULE OF WORKS, PREPARED BY OCP ARCHITECTS, MAY 2026.

APPENDIX D

SPECIFICATION, PREPARED BY OCP ARCHITECTS, MAY 2026.